

12/17/2025 2:35:09 PM

PRELIMINARY
NOT FOR CONSTRUCTION

BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

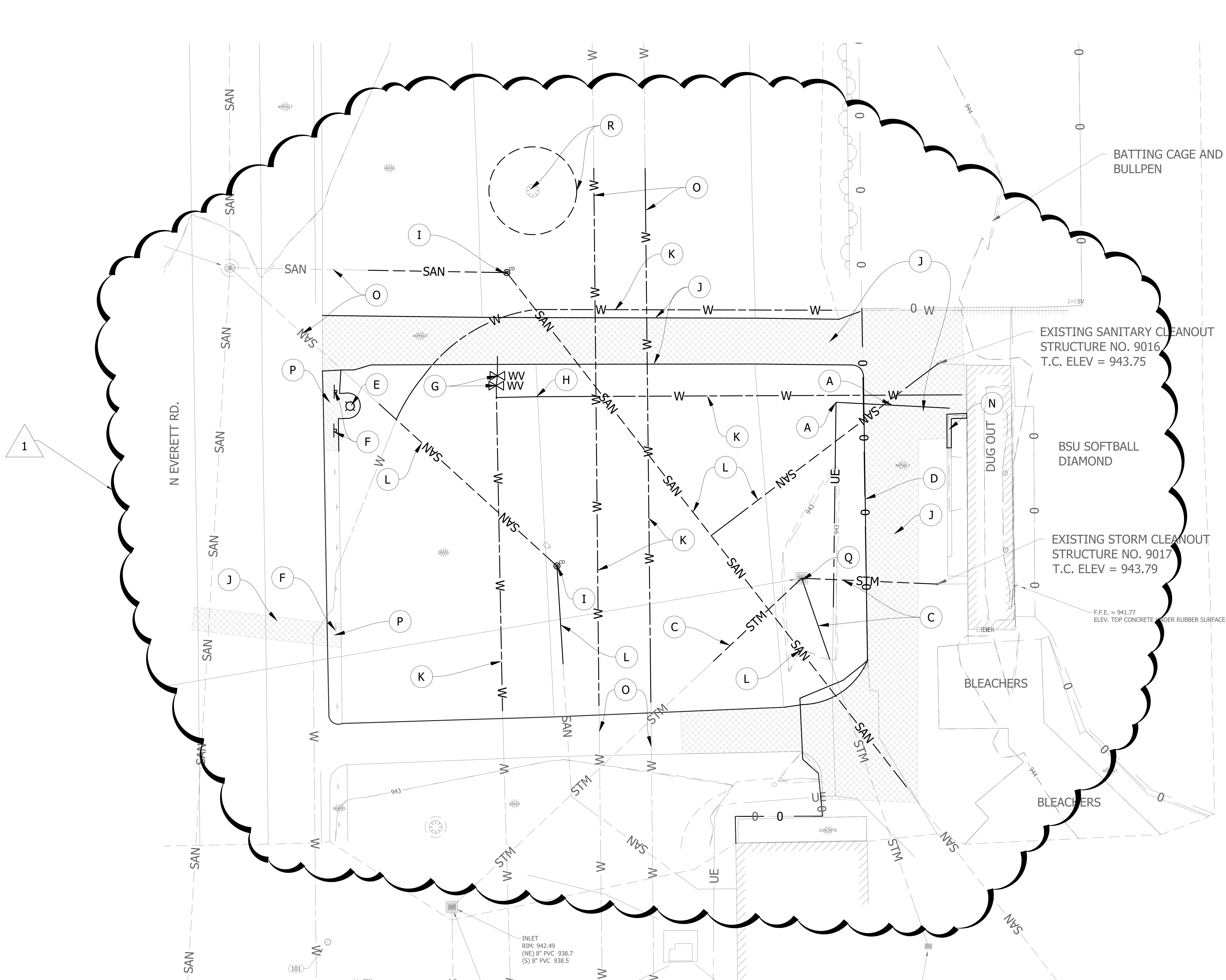
BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

[illegible]

GO.00

PROJECT DESCRIPTION		SHEET INDEX																																																																																																																																																																																																																									
<p>PROJECT SCOPE: THIS PROJECT INVOLVES THE CREATION OF TWO (2) STAND-ALONE LOCKER ROOM BUILDINGS, ONE EACH FOR BASEBALL & SOFTBALL AT SHEBEK STADIUM & BALL STATE SOFTBALL STADIUM, RESPECTIVELY. EACH BUILDING INCLUDES HOME TEAM LOCKER ROOMS (FOR PLAYERS & COACHES), A PLAYER LOUNGE & NUTRITION AREA, AND ASSOCIATED ATHLETIC AND ADMINISTATION FACILITIES. THE PROJECT ALSO INVOLVES ASSOCIATED SITE WORK AT EACH BUILDING, INCLUDING NEW ACCESS STAIRS LEADING TO THE HOME DUGOUTS FOR EACH TEAM.</p> <p>GENERAL NOTES:</p> <p>1. BOTH THE BASEBALL & SOFTBALL BUILDINGS ARE INDEPENDENT AND NOT RELATED IN ELEVATION OR GRADING. FOR COORDINATION, ARCHITECTURAL DRAWINGS REFERENCE FFE = 100'-0" FOR EACH BUILDING. ACTUAL CIVIL ELEVATIONS ARE: BASEBALL FFE = 943.20' & SOFTBALL FFE = 943.70'. REFER TO CIVIL DRAWINGS FOR TRUE SITE ELEVATIONS.</p> <p>2. COORDINATE CONSTRUCTION SCHEDULE DURING SEASON WITH ATHLETIC DEPARTMENT. IMPLIMENT NOISE CONSTRICTION DURING HOME GAMES.</p> <p>ALTERNATE 1: SOFTBALL AND BASEBALL ENCLOSED PRE-FABRICATED FREE STANDING WALKWAY CANOPY, B.O.D. UPSIDE INNOVATIONS, SUBJECT TO CHANGE.</p> <p>ALTERNATE 2: CUSTOM CARPET BALL STATE CARDINAL LOGO TO BE INSET WITHIN CPT-1. ARTWORK TO BE PROVIDED BY OWNER. FINAL SIZE & COLORS TO BE APPROVED BY ARCHITECT AND OWNER.</p> <p>ALTERNATE 3: PLAYER LOCKERS TO INCLUDE DOORS ON FRONT ELEVATIONS PER DETAILS. PROVIDE SEPERATE PRICING FOR BASEBALL AND SOFTBALL LOCKERS.</p>		<table> <thead> <tr> <th>SHEET #</th><th>SHEET NAME</th><th>SHEET #</th><th>SHEET NAME</th></tr> </thead> <tbody> <tr> <td>GENERAL</td><td></td><td>S1.10S</td><td>FOUNDATION PLAN - SOFTBALL BUILDING</td></tr> <tr> <td>G0.00</td><td>COVER SHEET</td><td>S1.20B</td><td>FRAMING PLAN - BASEBALL BUILDING</td></tr> <tr> <td>G0.10</td><td>ARCHITECTURAL STANDARDS & GENERAL NOTES</td><td>S1.20S</td><td>FRAMING PLAN - SOFTBALL BUILDING</td></tr> <tr> <td>G0.20</td><td>ADA STANDARDS</td><td>S2.00</td><td>TYPICAL FOUNDATION DETAILS</td></tr> <tr> <td>G0.30</td><td>CODE ANALYSIS</td><td>S2.10</td><td>FOUNDATION SECTIONS</td></tr> <tr> <td></td><td></td><td>S3.00</td><td>TYPICAL ROOF FRAMING & STEEL DETAILS</td></tr> <tr> <td></td><td></td><td>S3.10</td><td>ROOF FRAMING SECTIONS</td></tr> <tr> <td></td><td></td><td>S4.00</td><td>TYPICAL MASONRY DETAILS</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>FIRE PROTECTION</td><td></td></tr> <tr> <td></td><td></td><td>FP2.01B</td><td>FIRST FLOOR FIRE PROTECTION PLAN - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>FP2.01S</td><td>FIRST FLOOR FIRE PROTECTION PLAN - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>MECHANICAL/PLUMBING</td><td></td></tr> <tr> <td></td><td></td><td>MP0.00</td><td>MECHANICAL/PLUMBING SYMBOLS & ABBREVIATIONS</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>PLUMBING</td><td></td></tr> <tr> <td></td><td></td><td>P2.00B</td><td>UNDERFLOOR PLUMBING PLAN - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P2.00S</td><td>UNDERFLOOR PLUMBING PLAN - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P2.01B</td><td>FIRST FLOOR PLUMBING PLAN - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P2.01S</td><td>FIRST FLOOR PLUMBING PLAN - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P2.02B</td><td>ROOF PLUMBING PLAN - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P2.02S</td><td>ROOF PLUMBING PLAN - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td>P6.00</td><td>PLUMBING SCHEDULES & DETAILS</td></tr> <tr> <td></td><td></td><td>P6.01</td><td>FLOW RISER DIAGRAMS</td></tr> <tr> <td></td><td></td><td>P6.02B</td><td>DOMESTIC RISER DIAGRAM - BASEBALL</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>MECHANICAL</td><td></td></tr> <tr> <td></td><td></td><td>M2.00B</td><td>MECHANICAL PLANS - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>M2.00S</td><td>MECHANICAL PLANS - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td>M5.00</td><td>MECHANICAL DETAILS</td></tr> <tr> <td></td><td></td><td>M7.00</td><td>MECHANICAL SCHEDULES</td></tr> <tr> <td></td><td></td><td>M9.01</td><td>MECHANICAL CONTROL SCHEMATICS</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>ELECTRICAL</td><td></td></tr> <tr> <td></td><td></td><td>ES2.01</td><td>ELECTRICAL PLANS - SITE</td></tr> <tr> <td></td><td></td><td>E0.01</td><td>ELECTRICAL SYMBOLS & ABBREVIATIONS</td></tr> <tr> <td></td><td></td><td>E2.01B</td><td>ELECTRICAL PLANS - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>E2.01S</td><td>ELECTRICAL PLANS - SOFTBALL BUILDING</td></tr> <tr> <td></td><td></td><td>E2.02B</td><td>ELECTRICAL PLANS - BASEBALL BUILDING</td></tr> <tr> <td></td><td></td><td>E5.01</td><td>ELECTRICAL DETAILS</td></tr> <tr> <td></td><td></td><td>E5.02</td><td>ELECTRICAL DETAILS</td></tr> <tr> <td></td><td></td><td>E5.03</td><td>ELECTRICAL DETAILS</td></tr> <tr> <td></td><td></td><td>E5.04</td><td>ELECTRICAL DETAILS</td></tr> <tr> <td></td><td></td><td>E6.01</td><td>ELECTRICAL ONE-LINES</td></tr> <tr> <td></td><td></td><td>E7.01B</td><td>ELECTRICAL SCHEDULES</td></tr> <tr> <td></td><td></td><td>E7.01S</td><td>ELECTRICAL SCHEDULES</td></tr> <tr> <td></td><td></td><td>E8.01</td><td>LIGHT FIXTURE SCHEDULE</td></tr> <tr> <td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>STRUCTURE</td><td></td></tr> <tr> <td></td><td></td><td>S0.00</td><td>GENERAL STRUCTURAL NOTES</td></tr> <tr> <td></td><td></td><td>S0.01</td><td>SPECIAL INSPECTIONS</td></tr> <tr> <td></td><td></td><td>S1.10B</td><td>FOUNDATION PLAN - BASEBALL BUILDING</td></tr> </tbody> </table>		SHEET #	SHEET NAME	SHEET #	SHEET NAME	GENERAL		S1.10S	FOUNDATION PLAN - SOFTBALL BUILDING	G0.00	COVER SHEET	S1.20B	FRAMING PLAN - BASEBALL BUILDING	G0.10	ARCHITECTURAL STANDARDS & GENERAL NOTES	S1.20S	FRAMING PLAN - SOFTBALL BUILDING	G0.20	ADA STANDARDS	S2.00	TYPICAL FOUNDATION DETAILS	G0.30	CODE ANALYSIS	S2.10	FOUNDATION SECTIONS			S3.00	TYPICAL ROOF FRAMING & STEEL DETAILS			S3.10	ROOF FRAMING SECTIONS			S4.00	TYPICAL MASONRY DETAILS							FIRE PROTECTION				FP2.01B	FIRST FLOOR FIRE PROTECTION PLAN - BASEBALL BUILDING			FP2.01S	FIRST FLOOR FIRE PROTECTION PLAN - SOFTBALL BUILDING							MECHANICAL/PLUMBING				MP0.00	MECHANICAL/PLUMBING SYMBOLS & ABBREVIATIONS							PLUMBING				P2.00B	UNDERFLOOR PLUMBING PLAN - BASEBALL BUILDING			P2.00S	UNDERFLOOR PLUMBING PLAN - SOFTBALL BUILDING			P2.01B	FIRST FLOOR PLUMBING PLAN - BASEBALL BUILDING			P2.01S	FIRST FLOOR PLUMBING PLAN - SOFTBALL BUILDING			P2.02B	ROOF PLUMBING PLAN - BASEBALL BUILDING			P2.02S	ROOF PLUMBING PLAN - SOFTBALL BUILDING			P6.00	PLUMBING SCHEDULES & DETAILS			P6.01	FLOW RISER DIAGRAMS			P6.02B	DOMESTIC RISER DIAGRAM - BASEBALL							MECHANICAL				M2.00B	MECHANICAL PLANS - BASEBALL BUILDING			M2.00S	MECHANICAL PLANS - SOFTBALL BUILDING			M5.00	MECHANICAL DETAILS			M7.00	MECHANICAL SCHEDULES			M9.01	MECHANICAL CONTROL SCHEMATICS							ELECTRICAL				ES2.01	ELECTRICAL PLANS - SITE			E0.01	ELECTRICAL SYMBOLS & ABBREVIATIONS			E2.01B	ELECTRICAL PLANS - BASEBALL BUILDING			E2.01S	ELECTRICAL PLANS - SOFTBALL BUILDING			E2.02B	ELECTRICAL PLANS - BASEBALL BUILDING			E5.01	ELECTRICAL DETAILS			E5.02	ELECTRICAL DETAILS			E5.03	ELECTRICAL DETAILS			E5.04	ELECTRICAL DETAILS			E6.01	ELECTRICAL ONE-LINES			E7.01B	ELECTRICAL SCHEDULES			E7.01S	ELECTRICAL SCHEDULES			E8.01	LIGHT FIXTURE SCHEDULE							STRUCTURE				S0.00	GENERAL STRUCTURAL NOTES			S0.01	SPECIAL INSPECTIONS			S1.10B	FOUNDATION PLAN - BASEBALL BUILDING
SHEET #	SHEET NAME	SHEET #	SHEET NAME																																																																																																																																																																																																																								
GENERAL		S1.10S	FOUNDATION PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
G0.00	COVER SHEET	S1.20B	FRAMING PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
G0.10	ARCHITECTURAL STANDARDS & GENERAL NOTES	S1.20S	FRAMING PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
G0.20	ADA STANDARDS	S2.00	TYPICAL FOUNDATION DETAILS																																																																																																																																																																																																																								
G0.30	CODE ANALYSIS	S2.10	FOUNDATION SECTIONS																																																																																																																																																																																																																								
		S3.00	TYPICAL ROOF FRAMING & STEEL DETAILS																																																																																																																																																																																																																								
		S3.10	ROOF FRAMING SECTIONS																																																																																																																																																																																																																								
		S4.00	TYPICAL MASONRY DETAILS																																																																																																																																																																																																																								
		FIRE PROTECTION																																																																																																																																																																																																																									
		FP2.01B	FIRST FLOOR FIRE PROTECTION PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
		FP2.01S	FIRST FLOOR FIRE PROTECTION PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
		MECHANICAL/PLUMBING																																																																																																																																																																																																																									
		MP0.00	MECHANICAL/PLUMBING SYMBOLS & ABBREVIATIONS																																																																																																																																																																																																																								
		PLUMBING																																																																																																																																																																																																																									
		P2.00B	UNDERFLOOR PLUMBING PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
		P2.00S	UNDERFLOOR PLUMBING PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
		P2.01B	FIRST FLOOR PLUMBING PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
		P2.01S	FIRST FLOOR PLUMBING PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
		P2.02B	ROOF PLUMBING PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
		P2.02S	ROOF PLUMBING PLAN - SOFTBALL BUILDING																																																																																																																																																																																																																								
		P6.00	PLUMBING SCHEDULES & DETAILS																																																																																																																																																																																																																								
		P6.01	FLOW RISER DIAGRAMS																																																																																																																																																																																																																								
		P6.02B	DOMESTIC RISER DIAGRAM - BASEBALL																																																																																																																																																																																																																								
		MECHANICAL																																																																																																																																																																																																																									
		M2.00B	MECHANICAL PLANS - BASEBALL BUILDING																																																																																																																																																																																																																								
		M2.00S	MECHANICAL PLANS - SOFTBALL BUILDING																																																																																																																																																																																																																								
		M5.00	MECHANICAL DETAILS																																																																																																																																																																																																																								
		M7.00	MECHANICAL SCHEDULES																																																																																																																																																																																																																								
		M9.01	MECHANICAL CONTROL SCHEMATICS																																																																																																																																																																																																																								
		ELECTRICAL																																																																																																																																																																																																																									
		ES2.01	ELECTRICAL PLANS - SITE																																																																																																																																																																																																																								
		E0.01	ELECTRICAL SYMBOLS & ABBREVIATIONS																																																																																																																																																																																																																								
		E2.01B	ELECTRICAL PLANS - BASEBALL BUILDING																																																																																																																																																																																																																								
		E2.01S	ELECTRICAL PLANS - SOFTBALL BUILDING																																																																																																																																																																																																																								
		E2.02B	ELECTRICAL PLANS - BASEBALL BUILDING																																																																																																																																																																																																																								
		E5.01	ELECTRICAL DETAILS																																																																																																																																																																																																																								
		E5.02	ELECTRICAL DETAILS																																																																																																																																																																																																																								
		E5.03	ELECTRICAL DETAILS																																																																																																																																																																																																																								
		E5.04	ELECTRICAL DETAILS																																																																																																																																																																																																																								
		E6.01	ELECTRICAL ONE-LINES																																																																																																																																																																																																																								
		E7.01B	ELECTRICAL SCHEDULES																																																																																																																																																																																																																								
		E7.01S	ELECTRICAL SCHEDULES																																																																																																																																																																																																																								
		E8.01	LIGHT FIXTURE SCHEDULE																																																																																																																																																																																																																								
		STRUCTURE																																																																																																																																																																																																																									
		S0.00	GENERAL STRUCTURAL NOTES																																																																																																																																																																																																																								
		S0.01	SPECIAL INSPECTIONS																																																																																																																																																																																																																								
		S1.10B	FOUNDATION PLAN - BASEBALL BUILDING																																																																																																																																																																																																																								
<h3>EXTERIOR PERSPECTIVES</h3>																																																																																																																																																																																																																											
		<div> <div> <div>VICINITY MAP</div> </div> <div> <div>KEY PLAN</div> </div> </div>																																																																																																																																																																																																																									



- EXISTING LEGEND**
- GATE POST
 - AIR CONDITIONING UNIT
 - BENCHMARK
 - CATCH BASIN SQUARE
 - ELECTRIC RISER
 - ELECTRIC MANHOLE
 - FINISHED FLOOR ELEVATION
 - FIBER OPTIC MARKER
 - GROUND LIGHT
 - FIRE HYDRANT
 - INDOT BENCHMARK
 - IRON PIPE
 - OTHER MANHOLE
 - STORM MANHOLE
 - POST
 - REBAR
 - SINGLE SIGN POST
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - WATER SHUTOFF
 - DROP INLET
 - SANITARY CLEANOUT
 - SANITARY MANHOLE
 - POWER POLE
 - GAS VALVE
 - GUY WIRE
 - MONITORING WELL
 - CHAINLINK FENCE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND STORM (RAIN) SEWER
 - UNDERGROUND SANITARY SEWER
 - UNDERGROUND TELEPHONE
 - UNDERGROUND WATER
 - OVERHEAD UTILITY
 - RAILROAD TRACKS
- LEGEND**
- REMOVAL OF EXISTING ASPHALT PAVEMENT
 - REMOVAL OF EXISTING GRAVEL

- REMOVE EXISTING UNDERGROUND ELECTRIC UTILITY LINE
- REMOVE EXISTING UNDERGROUND CABLE TV LINE
- REMOVE EXISTING UNDERGROUND STORM SEWER PIPE
- REMOVE EXISTING FENCING
- REMOVE AND RESET EXISTING LIGHT POLE
- REMOVE AND RESET EXISTING SIGN
- REMOVE EXISTING WATER VALVE. COORDINATE WITH OWNER PRIOR TO REMOVAL TO DETERMINE IF OWNER WILL RELOCATE.
- REMOVE EXISTING WATER METER
- REMOVE EXISTING CLEAN OUT
- DEMOLISH EXISTING ASPHALT PAVEMENT. REMOVE PRECAST CONCRETE CURBS AND RETURN TO OWNER.
- REMOVE EXISTING UNDERGROUND WATER PIPE
- REMOVE EXISTING UNDERGROUND SEWER PIPE
- REMOVE EXISTING CURB
- REMOVE PORTION OF EXISTING WALL
- CAP AND ABANDON EXISTING UNDERGROUND UTILITY IN-PLACE
- REMOVE EXISTING GRAVEL
- REMOVE EXISTING STORM STRUCTURE
- REMOVE EXISTING TREE AND ASSOCIATED LANDSCAPING

- INLET PROTECTION MUST BE INSTALLED PRIOR TO STARTING DEMOLITION WORK.
- ALL UNDERGROUND UTILITIES ARE BASED ON EXISTING AS-BUILT DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES.
- PLEASE SAVE ALL LEFTOVER DIRT ASSOCIATED WITH THE REMOVAL/PUT BACK OF EXISTING UTILITIES. CONTRACTOR TO PLACE DIRT AT LOCATION AS DETERMINED BY OWNER.
- PLEASE STRAIGHTEN ALL OF THE EXISTING PARKING SIGNS TO REMAIN. THESE SIGNS ARE CURRENTLY AT AN ANGLE DUE TO WIND.

BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY
3200 N TILLOTSON AVE, MUNCIE, IN 47306
BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9



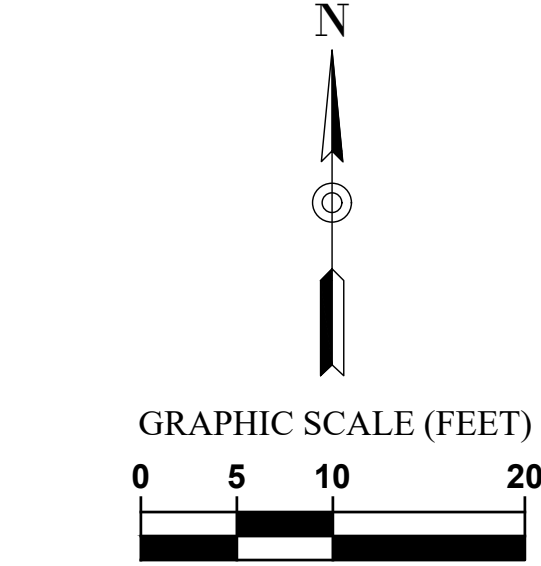
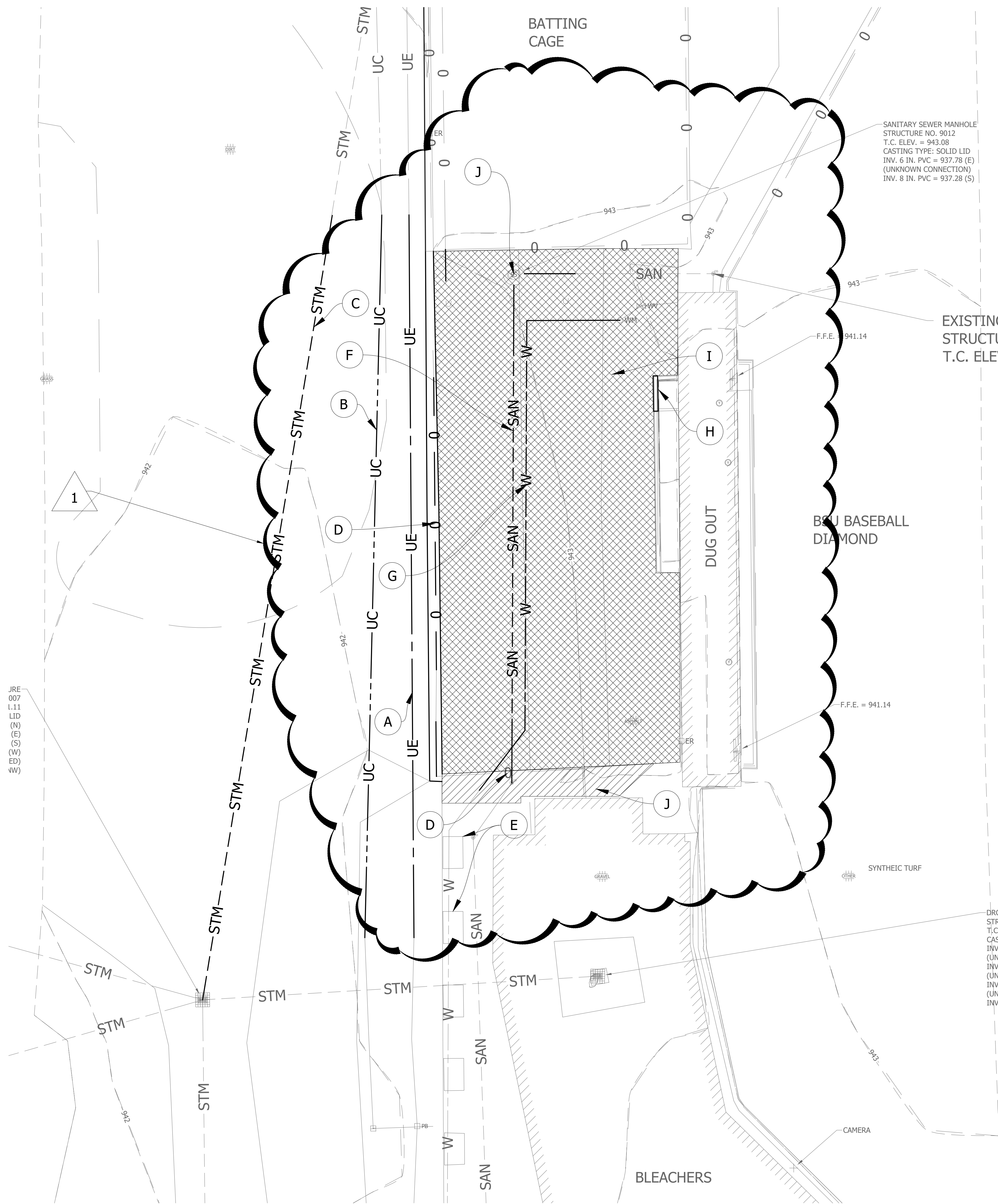
This drawing and the design concepts represented, as instruments of service, are the sole property of MSA SPORT, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA SPORT.

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	06/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	SD SET
1	12/15/2025	ADDENDUM #2

PROJECT NO. 24104.00

DRAWING TITLE:
EXISTING
TOPOGRAPHY AND
DEMOLITION PLAN -
SOFTBALL

C1.01S

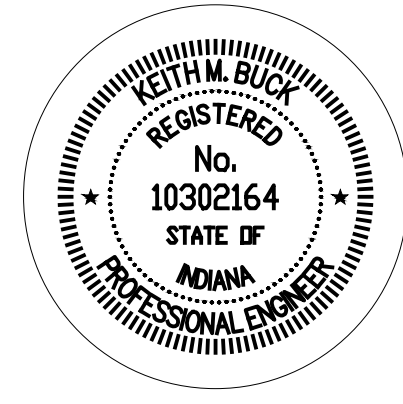


- EXISTING LEGEND**
- GATE POST
 - AIR CONDITIONING UNIT
 - BENCHMARK
 - CATCH BASIN SQUARE
 - ELECTRIC RISER
 - ELECTRIC MANHOLE
 - FINISHED FLOOR ELEVATION
 - FIBER OPTIC MARKER
 - GROUND LIGHT
 - FIRE HYDRANT
 - INDOT BENCHMARK
 - IRON PIPE
 - OTHER MANHOLE
 - STORM MANHOLE
 - POST
 - REBAR
 - SINGLE SIGN POST
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - WATER SHUTOFF
 - DROP INLET
 - SANITARY CLEANOUT
 - SANITARY MANHOLE
 - POWER POLE
 - GAS VALVE
 - GUY WIRE
 - MONITORING WELL
 - CHAINLINK FENCE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND STORM (RAIN) SEWER
 - UNDERGROUND SANITARY SEWER
 - UNDERGROUND TELEPHONE
 - UNDERGROUND WATER
 - OVERHEAD UTILITY
 - RAILROAD TRACKS

- REMOVAL OF CONCRETE PAVEMENT
- REMOVAL OF EXISTING ASPHALT PAVEMENT

- LEGEND**
- A REMOVE EXISTING UNDERGROUND ELECTRIC UTILITY LINE
 - B REMOVE EXISTING UNDERGROUND CABLE TV LINE
 - C REMOVE EXISTING UNDERGROUND STORM SEWER PIPE
 - D REMOVE EXISTING FENCING
 - E REMOVE AND RESET EXISTING CONCRETE PLANTER
 - F REMOVE EXISTING UNDERGROUND SANITARY SEWER PIPE
 - G REMOVE EXISTING UNDERGROUND WATER PIPE.
 - H REMOVE PORTION OF EXISTING WALL
 - I REMOVE PORTION OF EXISTING ASPHALT PAVEMENT.
 - J REMOVE PORTION OF EXISTING CONCRETE PAVEMENT.

- INLET PROTECTION MUST BE INSTALLED PRIOR TO STARTING DEMOLITION WORK.
- ALL UNDERGROUND UTILITIES ARE BASED ON EXISTING AS-BUILT DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES.
- PLEASE SAVE ALL LEFTOVER DIRT ASSOCIATED WITH THE REMOVAL/PUT BACK OF EXISTING UTILITIES. CONTRACTOR TO PLACE DIRT AT LOCATION AS DETERMINED BY OWNER.
- PLEASE SAVE ALL OF THE EXISTING INFIELD PLAYING SURFACE MATERIAL ASSOCIATED WITH THE EXISTING NATURAL GRASS INFIELD PRACTICE FIELD. CONTRACTOR TO PLACE DIRT AT LOCATION AS DETERMINED BY OWNER.



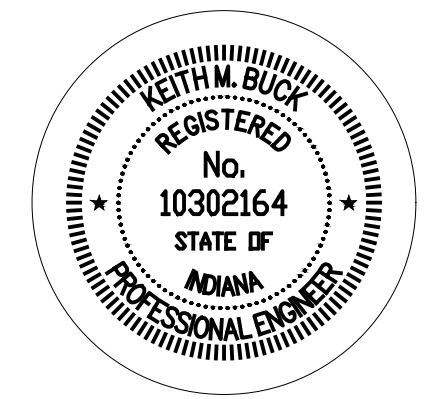
BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS
BALL STATE UNIVERSITY
3200 N TILLOTSON AVE, MUNCIE, IN 47306
BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9

This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.
Copyright MSA DESIGN
MSA DESIGN All Rights Reserved
MSA SPORT is a division of MSA DESIGN

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	08/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	BID SET
1	12/15/2025	ADDENDUM #2

PROJECT NO. 24104.00

DRAWING TITLE:
EXISTING
TOPOGRAPHY AND
DEMOLITION PLAN -
BASEBALL



SITE WORK GENERAL NOTES AND SPECIFICATIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURTENANCES.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.

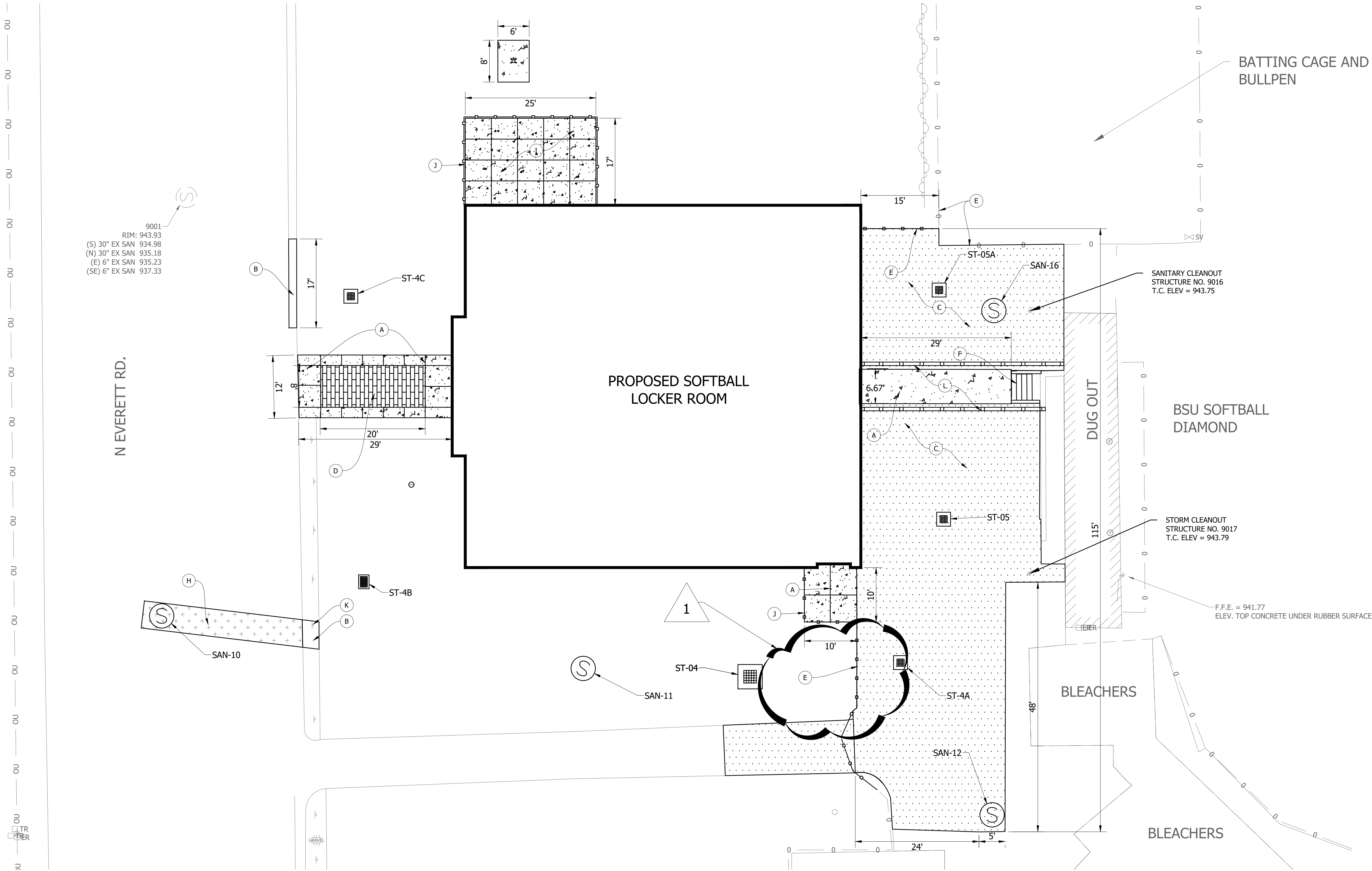
SITE PLAN NOTES

- ALL RADII AND STREET DIMENSIONS SHALL BE MEASURED TO BACK OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
- ALL PAVEMENT AND/OR CURB RADII TO BE FIVE (5) FOOT UNLESS OTHERWISE NOTED.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO RECORDED BOUNDARY SURVEYS, ALTAS AND SECONDARY PLATS FOR EXACT INFORMATION.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL STANDARDS.
- REFER TO UTILITY PLAN FOR SANITARY AND STORM STRUCTURE LOCATIONS.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

LEGEND

- 4" CONCRETE SIDEWALK, ADJUST EDGE OF EXISTING ASPHALT PAVING ACCORDING TO CREATE A STRAIGHT AND PLUMB TRANSITION. INSTALL CONTINUOUS EXPANSION JOINT BETWEEN EXISTING HARD SURFACE AND CONCRETE.
- (A) INDOT #53 STONE TO MATCH EXISTING ADJACENT STONE
- (B) ASPHALT PAVEMENT
- (C) BRICK SIDEWALK. SEE ARCHITECTURE DETAILS.
- (D) NEW FENCING TO MATCH ADJACENT EXISTING FENCE
- (E) NEW STEPS TO DUGOUT. SEE STRUCTURAL DETAILS.
- (F) NOTE
- (G) TRENCH PATCH. SEE SHEET C401.
- (H) 6" CONCRETE PAD
- (I) NEW FENCING. SEE ARCHITECTURAL PLANS
- (J) RESET EXISTING SIGN
- (K) NEW COVERED WALKWAY. SEE ARCHITECTURE DETAILS.

- PROPOSED BRICK WALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT WALK
- PROPOSED TRENCH PATCH



BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9

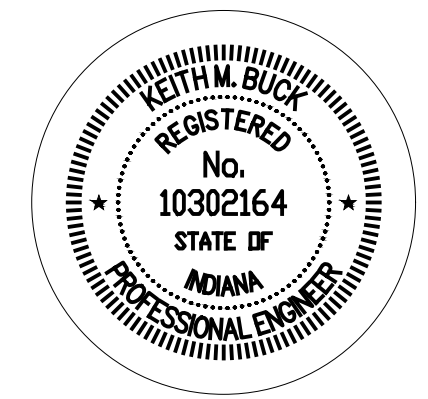
This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.
Copyright MSA DESIGN
MSA DESIGN All Rights Reserved
MSA SPORT is a division of MSA DESIGN

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	06/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	SD SET
1	12/15/2025	ADDENDUM #2

PROJECT NO. 24104.00

DRAWING TITLE:
SITE PLAN -
SOFTBALL

C2.01S



SITE WORK GENERAL NOTES AND SPECIFICATIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURTENANCES.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.

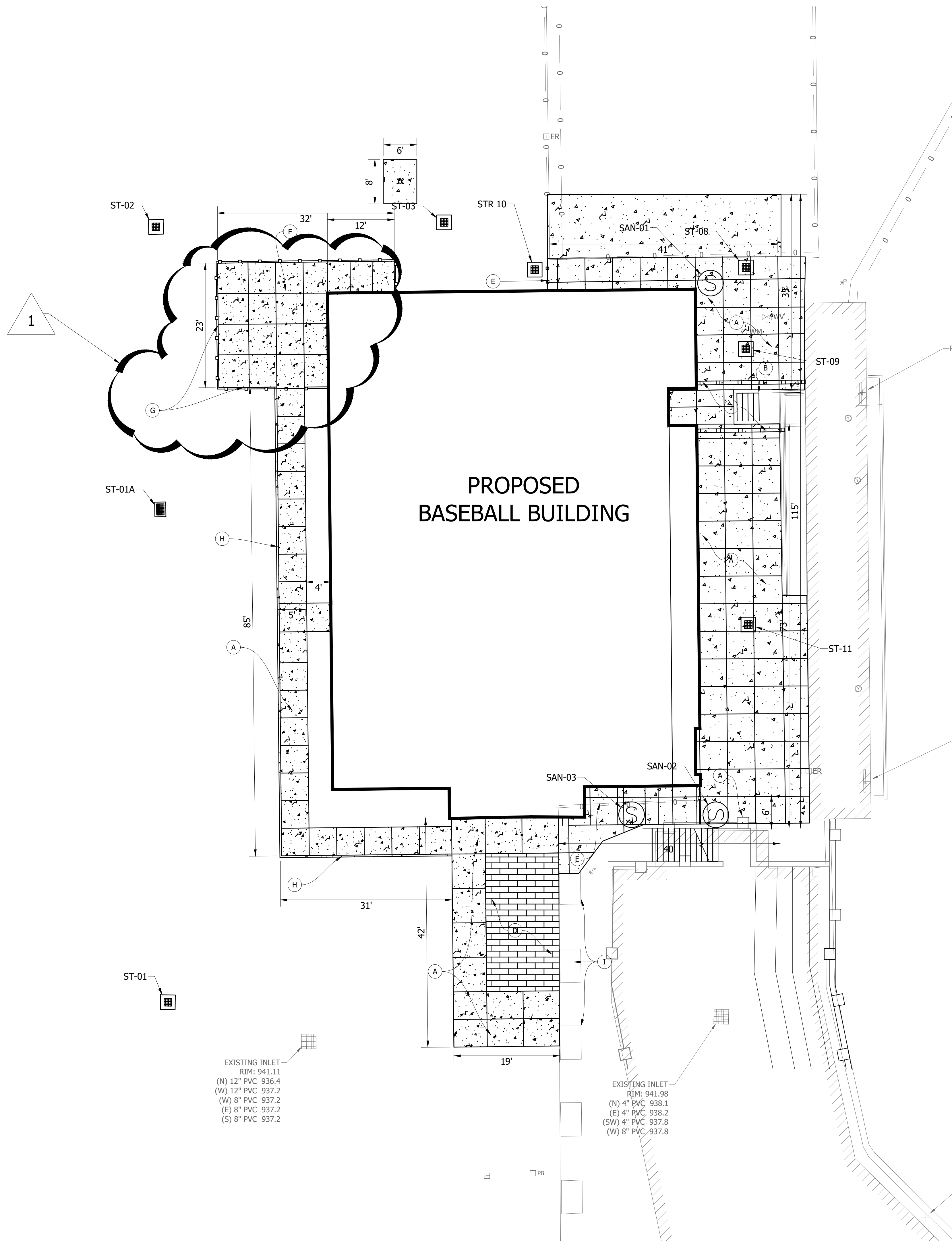
SITE PLAN NOTES

- ALL RADII AND STREET DIMENSIONS SHALL BE MEASURED TO BACK OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
- ALL PAVEMENT AND/OR CURB RADII TO BE FIVE (5) FOOT UNLESS OTHERWISE NOTED.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO RECORDED BOUNDARY SURVEYS, ALTAS AND SECONDARY PLATS FOR EXACT INFORMATION.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL STANDARDS.
- REFER TO UTILITY PLAN FOR SANITARY AND STORM STRUCTURE LOCATIONS.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

LEGEND

- (A) 4" CONCRETE SIDEWALK
- (B) NEW STEPS TO DUGOUT. SEE STRUCTURAL DETAILS.
- (C) NOTE
- (D) BRICK SIDEWALK. SEE ARCHITECTURE DETAILS.
- (E) NEW FENCING TO MATCH ADJACENT EXISTING FENCE
- (F) 6" CONCRETE PAD
- (G) NEW FENCING. SEE ARCHITECTURAL PLANS
- (H) NEW 6" CONCRETE CURB
- (I) RESET EXISTING PLANTER BOXES
- (J) NEW COVERED WALKWAY. SEE ARCHITECTURE DETAILS.

- PROPOSED BRICK WALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT WALK



BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9

This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.
Copyright MSA DESIGN.
MSA DESIGN All Rights Reserved
MSA SPORT is a division of MSA DESIGN

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	06/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	BID SET
1	12/15/2025	ADDENDUM #2

PROJECT NO. 24104.00

DRAWING TITLE:
SITE PLAN -
BASEBALL

C2.02B



BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9

This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.

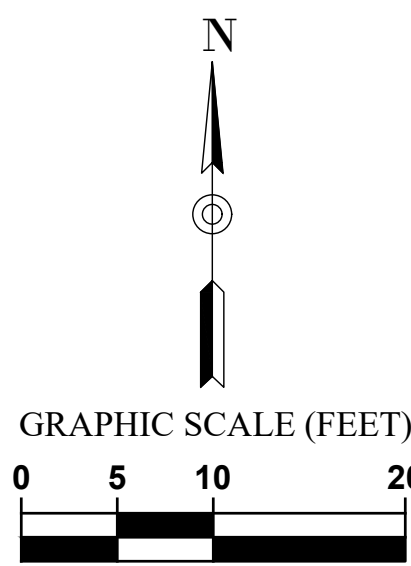
Copyright MSA DESIGN, LLC
MSA DESIGN and Rights Reserved
MSA SPORT is a division of MSA DESIGN

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	06/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	BID SET
1	12/15/2025	ADDENDUM #2

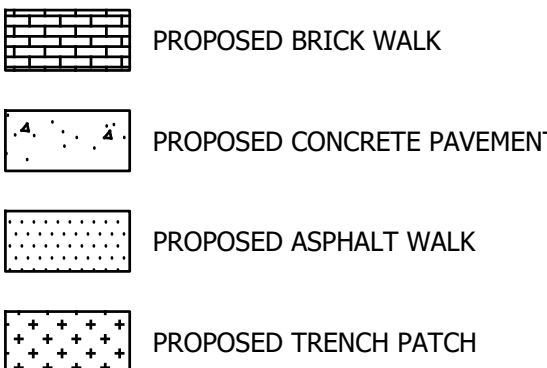
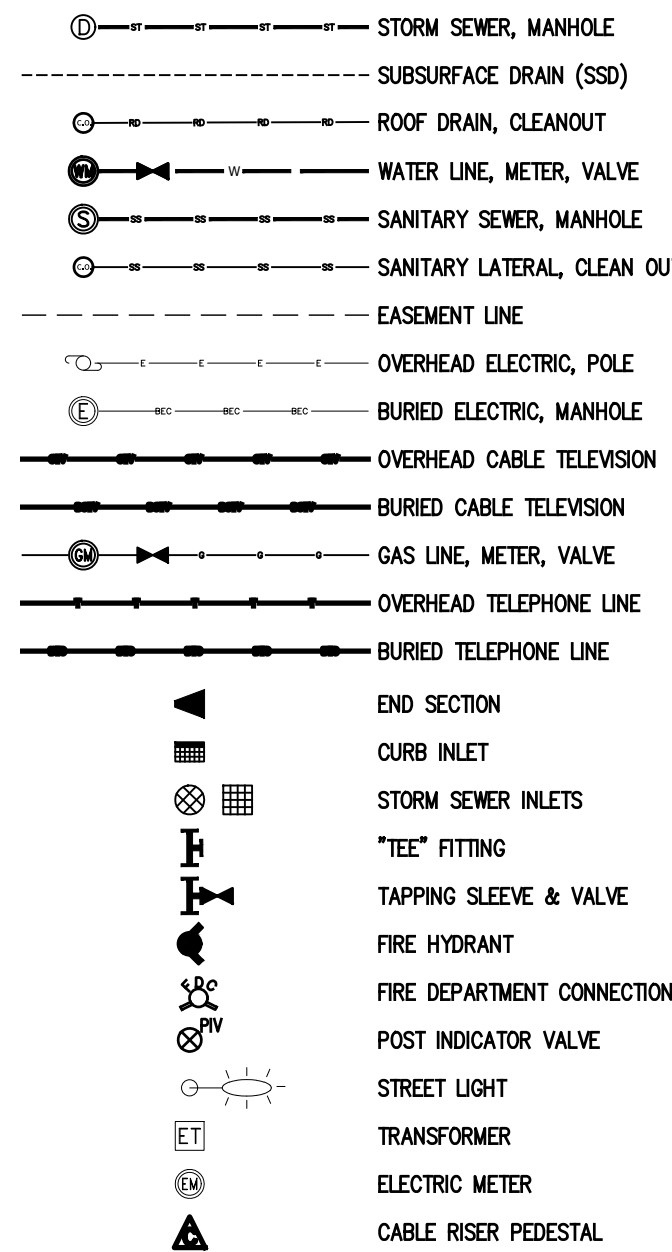
PROJECT NO. 24104.00

DRAWING TITLE:
UTILITY PLAN -
SOFTBALL

C4.01S



UTILITY PLAN LEGEND

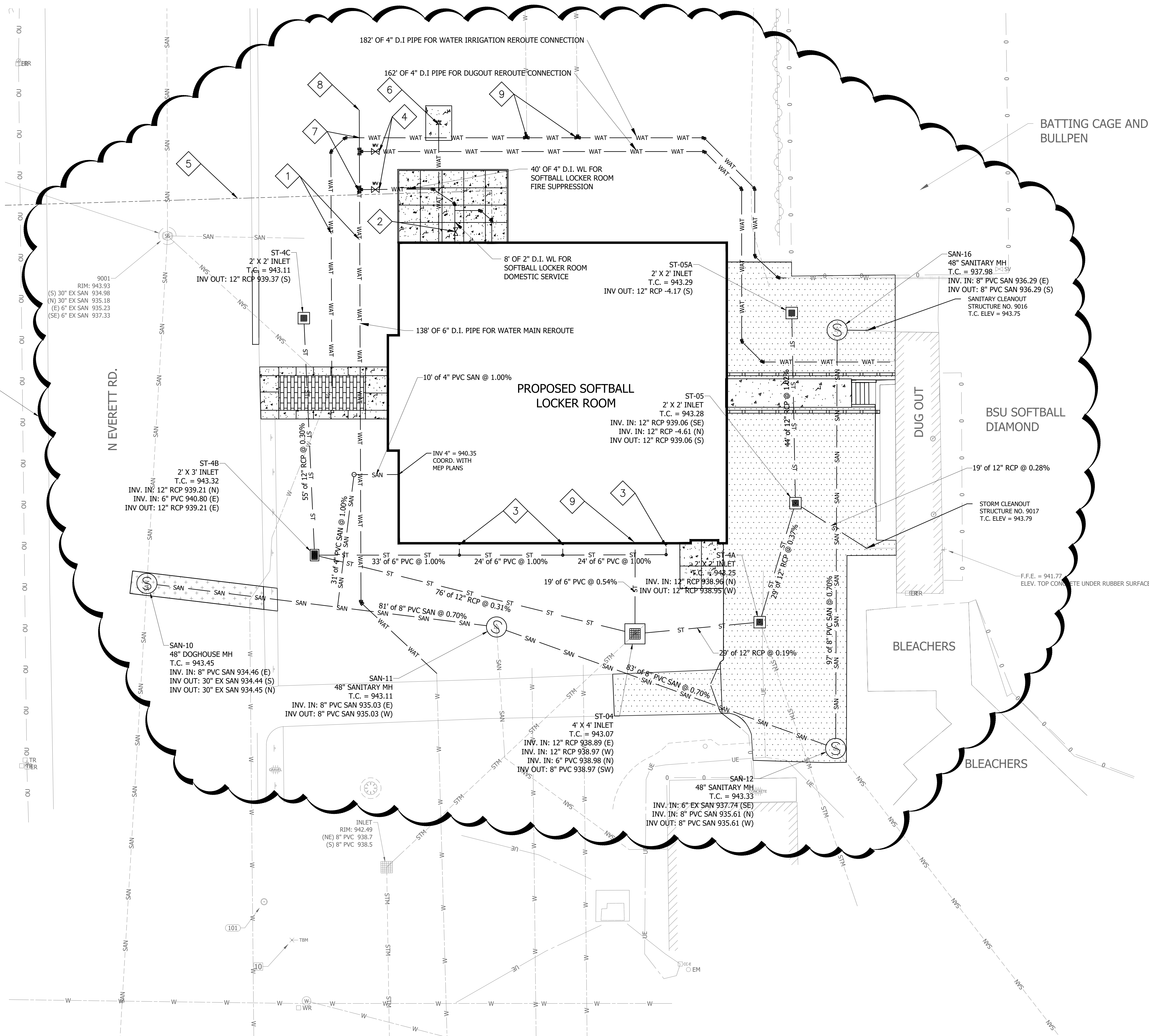


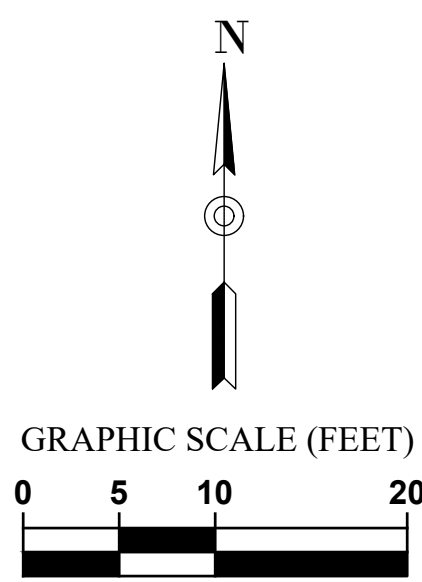
UTILITY PLAN NOTES

- SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
- SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
- SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
- PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
- ALL SUB-SURFACE DRAIN (SSD) SHALL BE 6" PERFORATED DUAL WALL HOPE UNLESS NOTED OTHERWISE.
- INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION. ALL STORM STRUCTURES MUST HAVE AT LEAST 3 SUB SURFACE DRAIN CONNECTIONS.
- REFER TO CITY OF MUNCIE DETAIL SHEETS C014 & C019 FOR BACKFILL REQUIREMENTS FOR STORM & SANITARY SEWERS.
- REFER TO CITY OF MUNCIE SHEETS C019-C024 FOR TOWN OF FISHERS SANITARY SEWER DETAILS.
- REFER TO DETAIL SHEETS C014-C018 FOR CITY OF MUNCIE STORM SEWER DETAILS.
- SEE STRUCTURE DATA TABLE DETAILS ON SHEETS C705 (STORM) & C801 (SANITARY).
- CONNECTIONS TO EXISTING STRUCTURES REQUIRE THAT THE STRUCTURE BE REHABILITATED TO CURRENT DPM DESIGN STANDARDS.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL EXISTING STRUCTURES, MANHOLES, AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE TRAFFIC BEARING AND SHALL BE FLUSH WITH ADJACENT PAVEMENT.

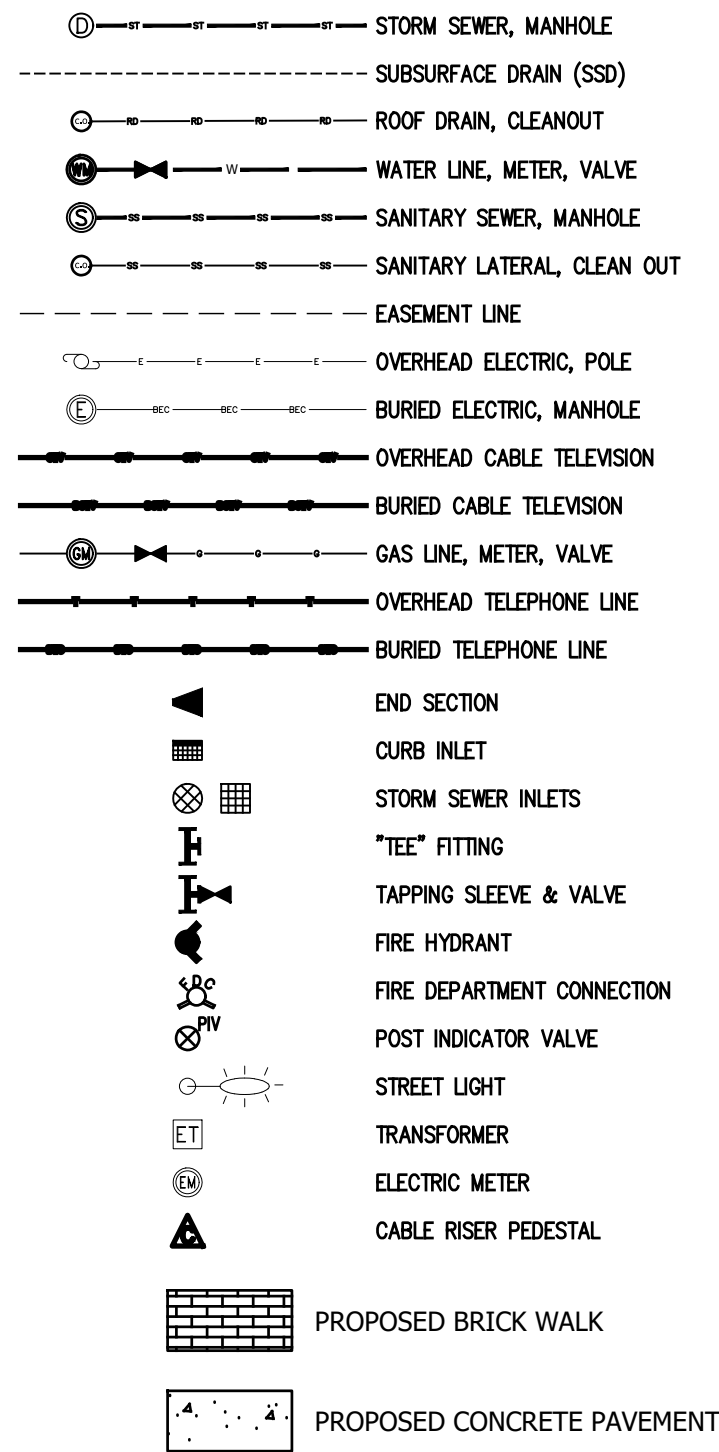
KEYNOTE LEGEND

- CONNECT WATER TO EXISTING WITH STAINLESS STEEL TAPPING SLEEVE AND VALVE.
- POST INDICATOR VALVE - SEE FIRE PROTECTION PLANS AND ELECTRICAL PLANS FOR LOW VOLTAGE WIRING.
- DOWN SPOUT WITH BOOT FOR UNDERGROUND DRAINAGE TO FOOTING DRAIN - SEE STRUCTURAL PLANS
- NEW WATER VALVE
- NEW ELECTRIC WIRE - SEE ELECTRICAL PLANS
- NEW FIRE DEPARTMENT CONNECTION
- 6" GATE VALVE WITH MECHANICAL JOINTS
- 6" END CAP
- 4" GATE VALVE WITH MECHANICAL JOINTS





UTILITY PLAN LEGEND



UTILITY PLAN NOTES

- SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
- SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
- SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
- PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
- ALL SUB-SURFACE DRAIN (SSD) SHALL BE 6" PERFORATED DUAL WALL HDPE UNLESS NOTED OTHERWISE.
- INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION. ALL STORM STRUCTURES MUST HAVE AT LEAST 3 SUB SURFACE DRAIN CONNECTIONS.
- REFER TO CITY OF MUNCIE DETAIL SHEETS C914 & C919 FOR BACKFILL REQUIREMENTS FOR STORM & SANITARY SEWERS.
- REFER TO CITY OF MUNCIE SHEETS C919-C924 FOR TOWN OF FISHERS SANITARY SEWER DETAILS.
- REFER TO DETAIL SHEETS C914-C918 FOR CITY OF MUNCIE STORM SEWER DETAILS.
- REFER TO SHEETS IN THE C900 SERIES FOR ALL OTHER CITY OF MUNCIE DETAILS.
- SEE STRUCTURE DATA TABLE DETAILS ON SHEETS C705 (STORM) & C801 (SANITARY).
- CONNECTIONS TO EXISTING STRUCTURES REQUIRE THAT THE STRUCTURE BE REHABILITATED TO CURRENT DPW DESIGN STANDARDS.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL EXISTING STRUCTURES, MANHOLES, AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE TRAFFIC BEARING AND SHALL BE FLUSH WITH ADJACENT PAVEMENT.

KEYNOTE LEGEND

- CONNECT WATER TO EXISTING WITH STAINLESS STEEL TAPPING SLEEVE AND VALVE.
- POST INDICATOR VALVE - SEE FIRE PROTECTION PLANS AND ELECTRICAL PLANS FOR LOW VOLTAGE WIRING.
- DOWN SPOUT WITH BOOT FOR UNDERGROUND DRAINAGE TO FOOTING DRAIN - SEE STRUCTURAL PLANS.
- NEW WATER VALVE.
- NEW ELECTRIC WIRE - SEE ELECTRICAL PLANS.
- NEW FIRE DEPARTMENT CONNECTION.
- 6" GATE VALVE WITH MECHANICAL JOINTS.
- 6" END CAP.
- FOOTING DRAIN CONNECTION. COORD WITH STRUCTURAL PLANS.

BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

BALL STATE PROJECT NUMBER: 2024-008.01 A2/A9

This drawing and the design concepts represented, as instruments of service, are the sole property of MSA SPORT, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA SPORT.

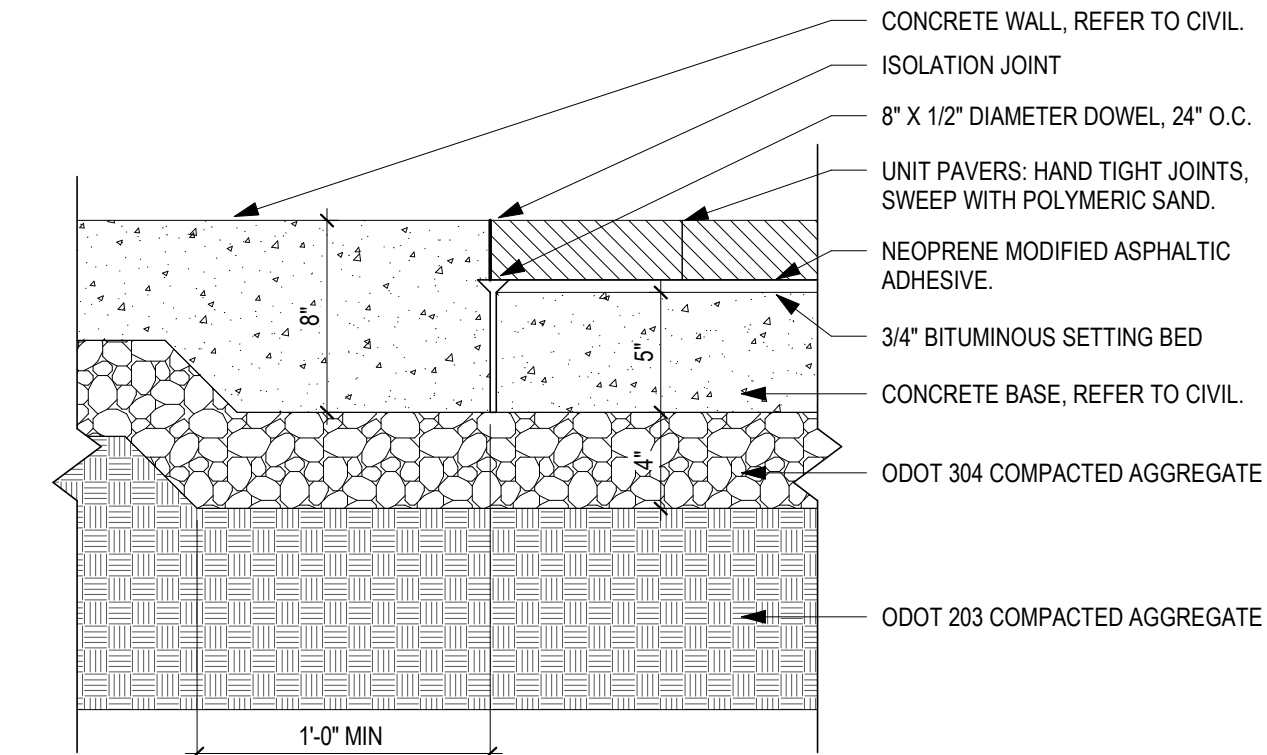
Copyright MSA SPORT
MSA SPORT and MSA SPORT are registered trademarks of MSA SPORT.

NO.	DATE	ISSUED / REVISION
	07/19/2024	SD SET
	08/27/2025	DD SET
	11/04/2025	CD SET
	11/21/2025	BID SET
1	12/15/2025	ADDENDUM #2

PROJECT NO. 24104.00

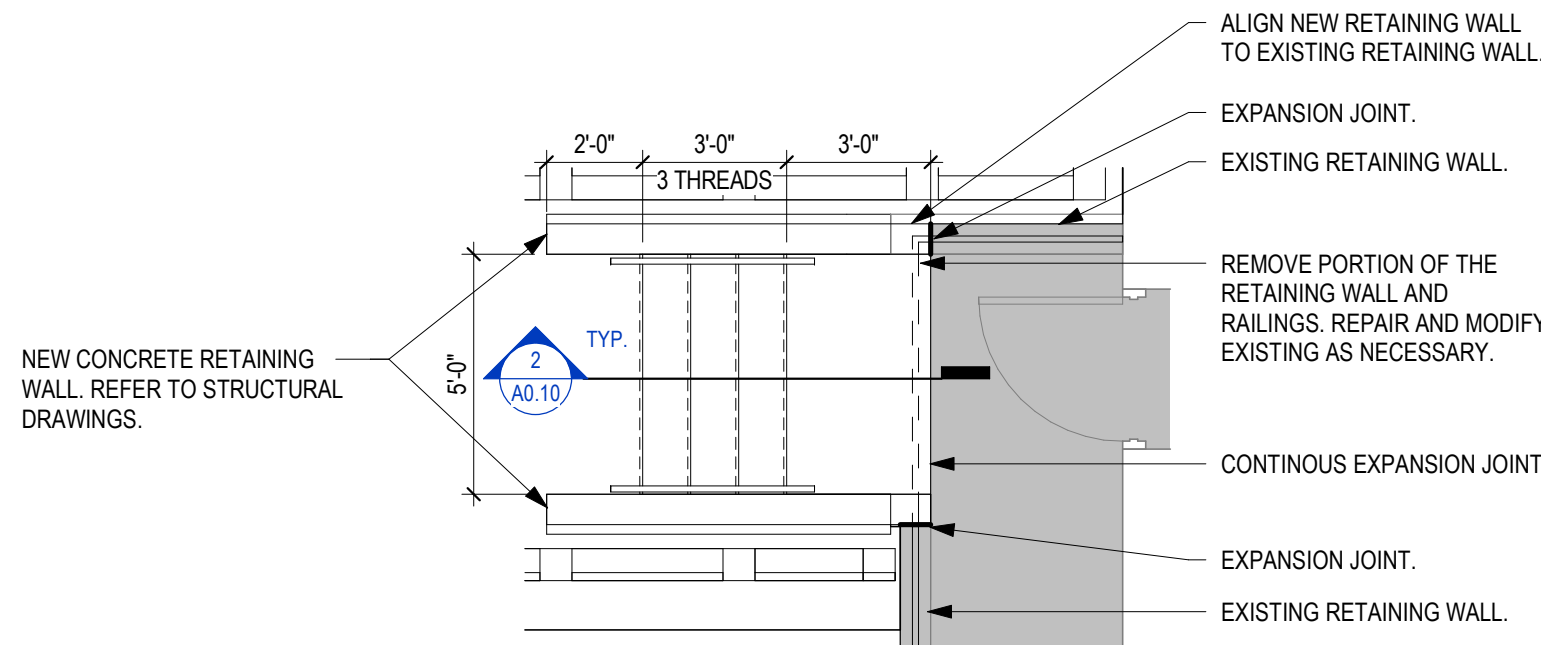
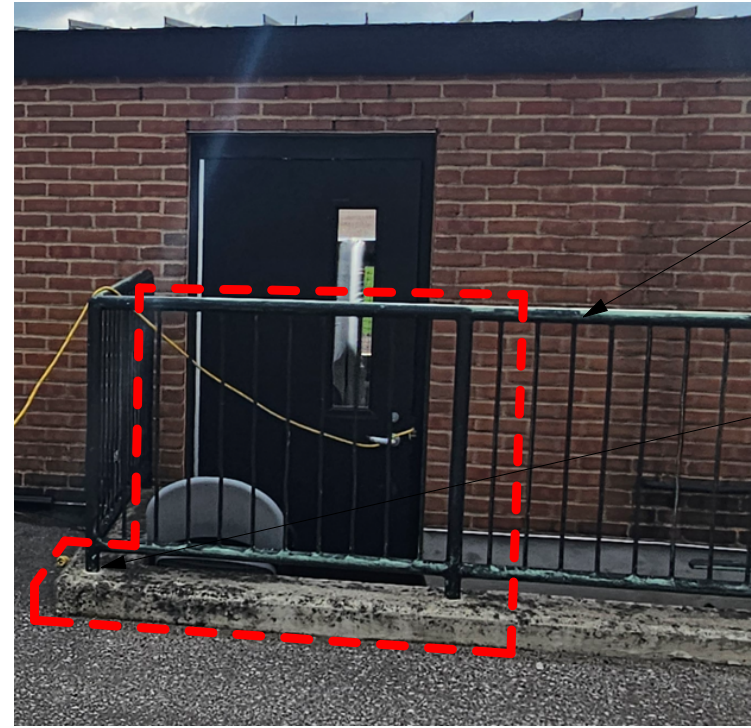
DRAWING TITLE:
UTILITY PLAN -
BASEBALL

C4.02B



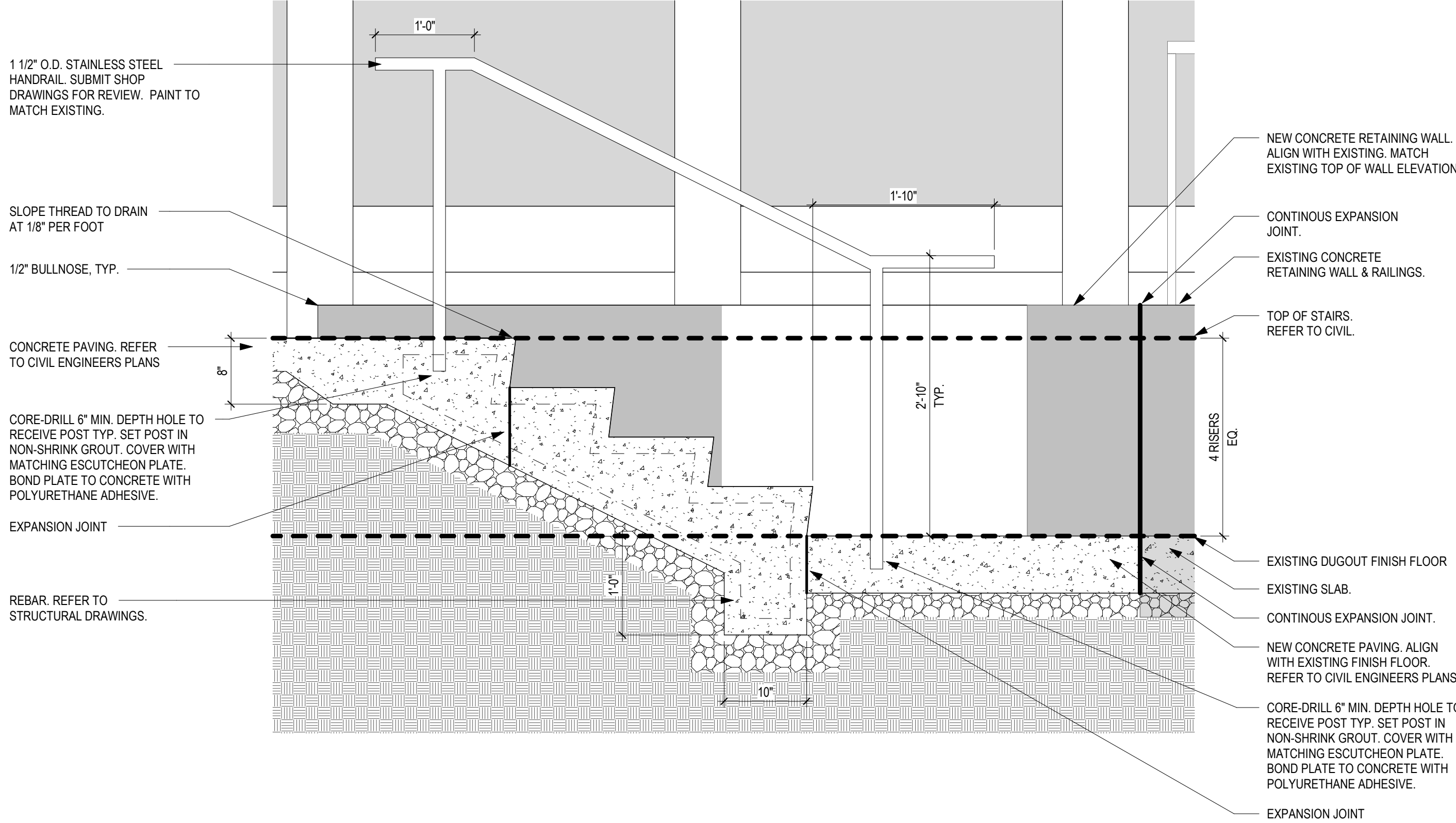
3 BRICK PAVERS DETAIL

1 1/2" = 1'-0"



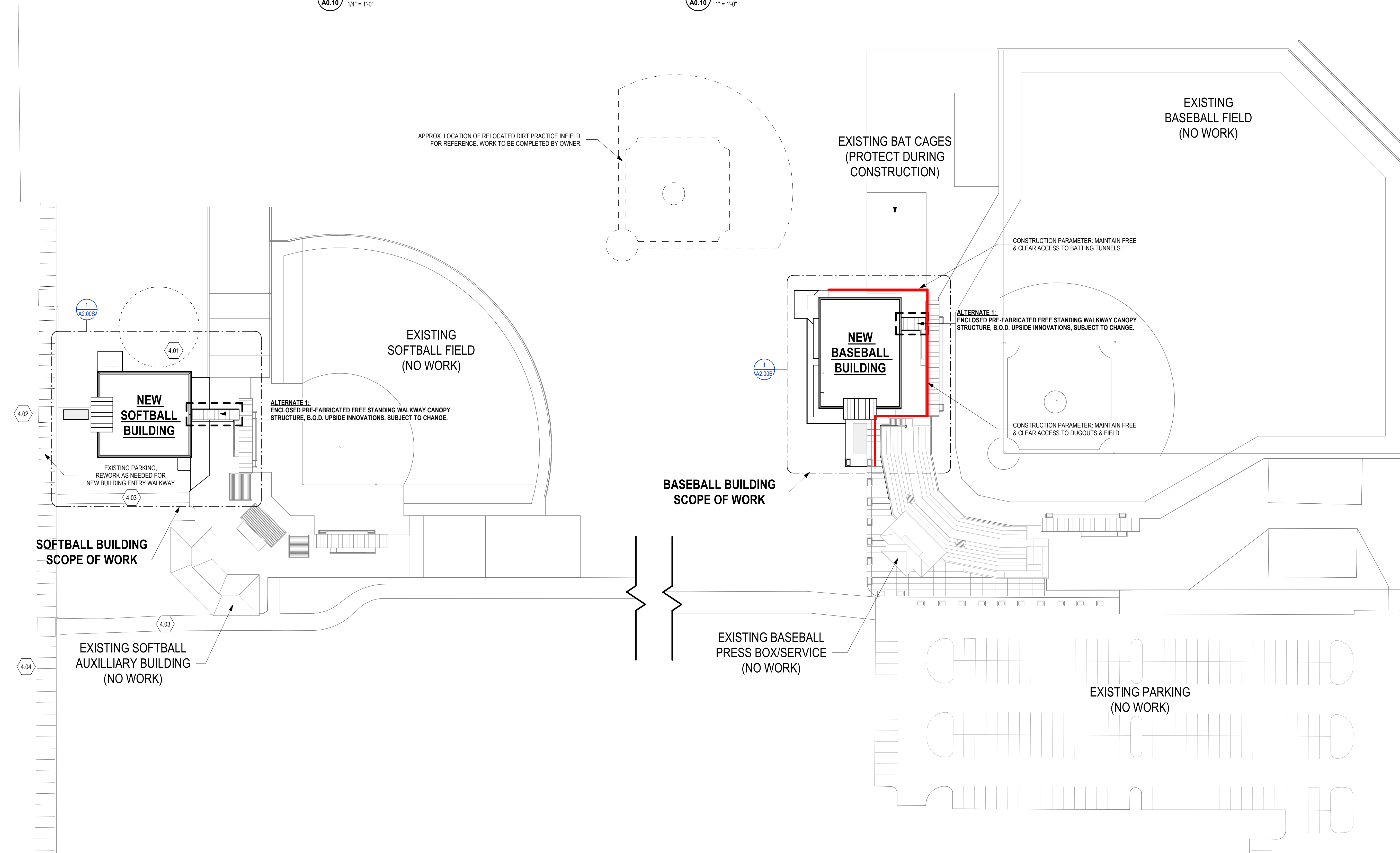
4 TYPICAL DUGOUT STAIR

1 1/4" = 1'-0"



2 CONCRETE STAIR AND RAILING DETAIL

1" = 1'-0"



1 SHEBEK STADIUM & BALL STATE SOFTBALL STADIUM - REFERENCE SITE PLAN

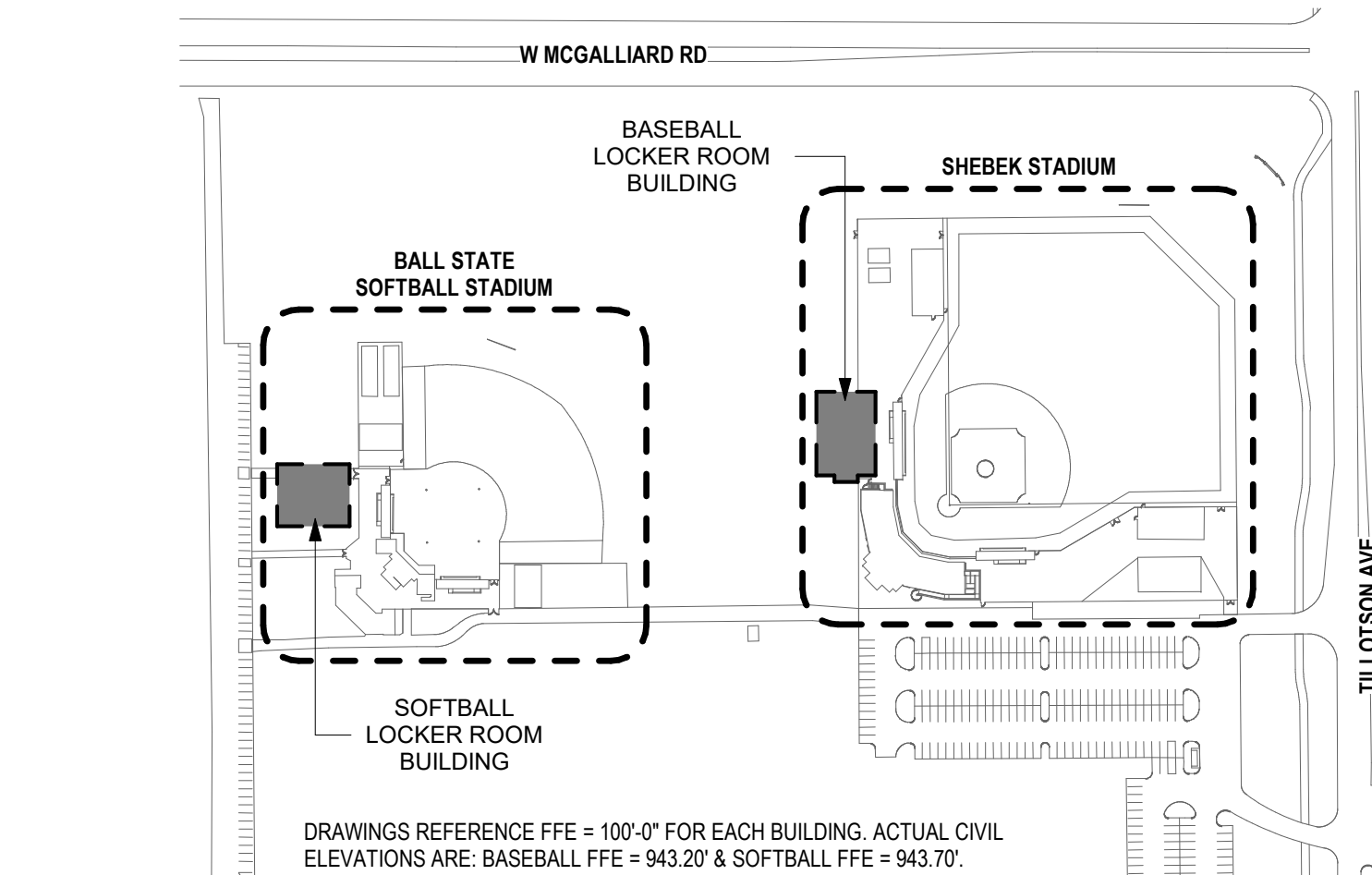
1" = 40'-0"

GENERAL NOTES - SITE

1. ARCHITECTURAL SITE PLAN FOR REFERENCE. REFER TO CIVIL DRAWINGS.

KEYNOTES - SITE

- 4.01 EXISTING TREE IS TO BE RELOCATED BY BSU. CONTRACTOR TO COORDINATE WITH US.
- 4.02 EXISTING SIGNS IN THE PARKING AREA ARE TO BE REALIGNED AND STRAIGHTENED OUT. REFER THE SIGNS NEXT TO THE CARS.
- 4.03 WALKWAY NEEDS TO STAY ACCESSIBLE AT ALL TIMES DURING THE SEASON.
- 4.04 PARKING SPACES WILL BE TEMPORARILY DESIGNATED DURING CONSTRUCTION.



KEY PLAN - PROJECT SITE

1" = 200'-0"

BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

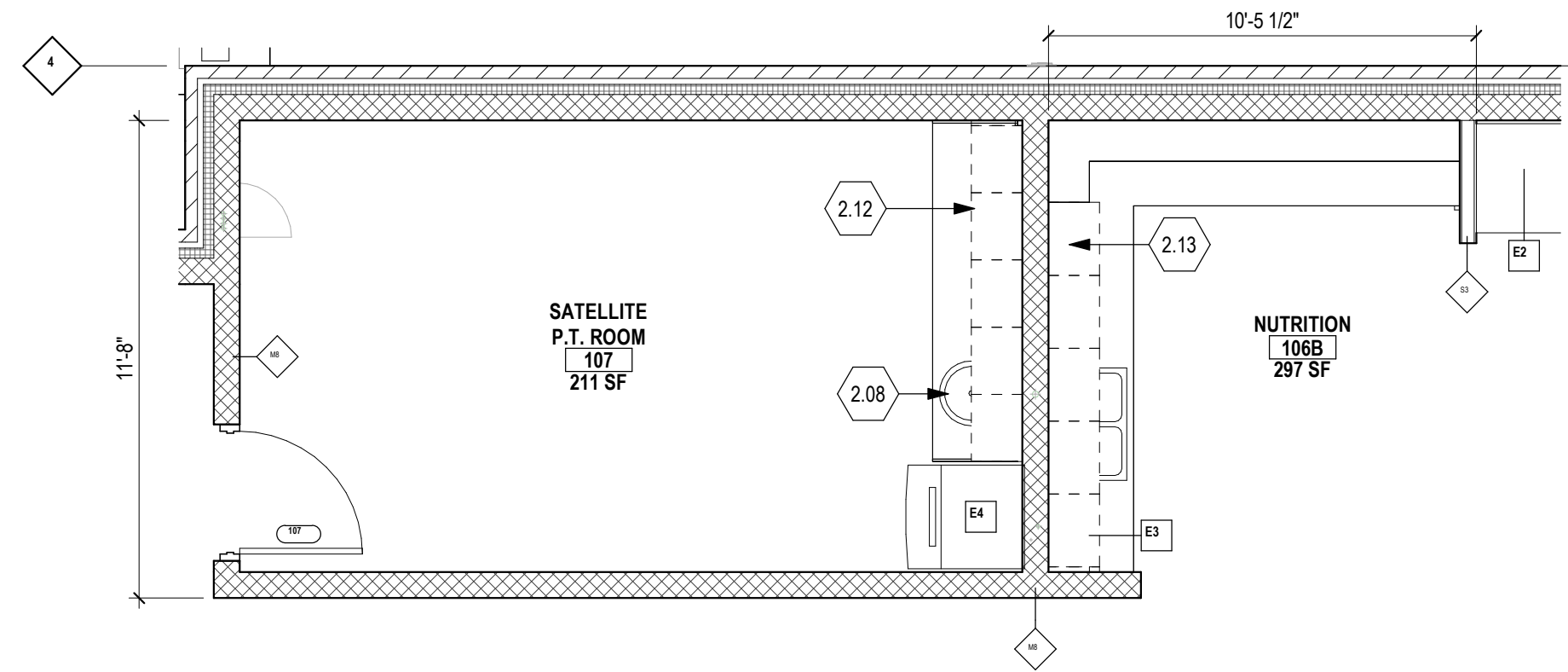
This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN. Copyright MSA DESIGN. MSA DESIGN All Rights Reserved. MSA SPORT is a division of MSA DESIGN.

NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BID/PERMIT SET

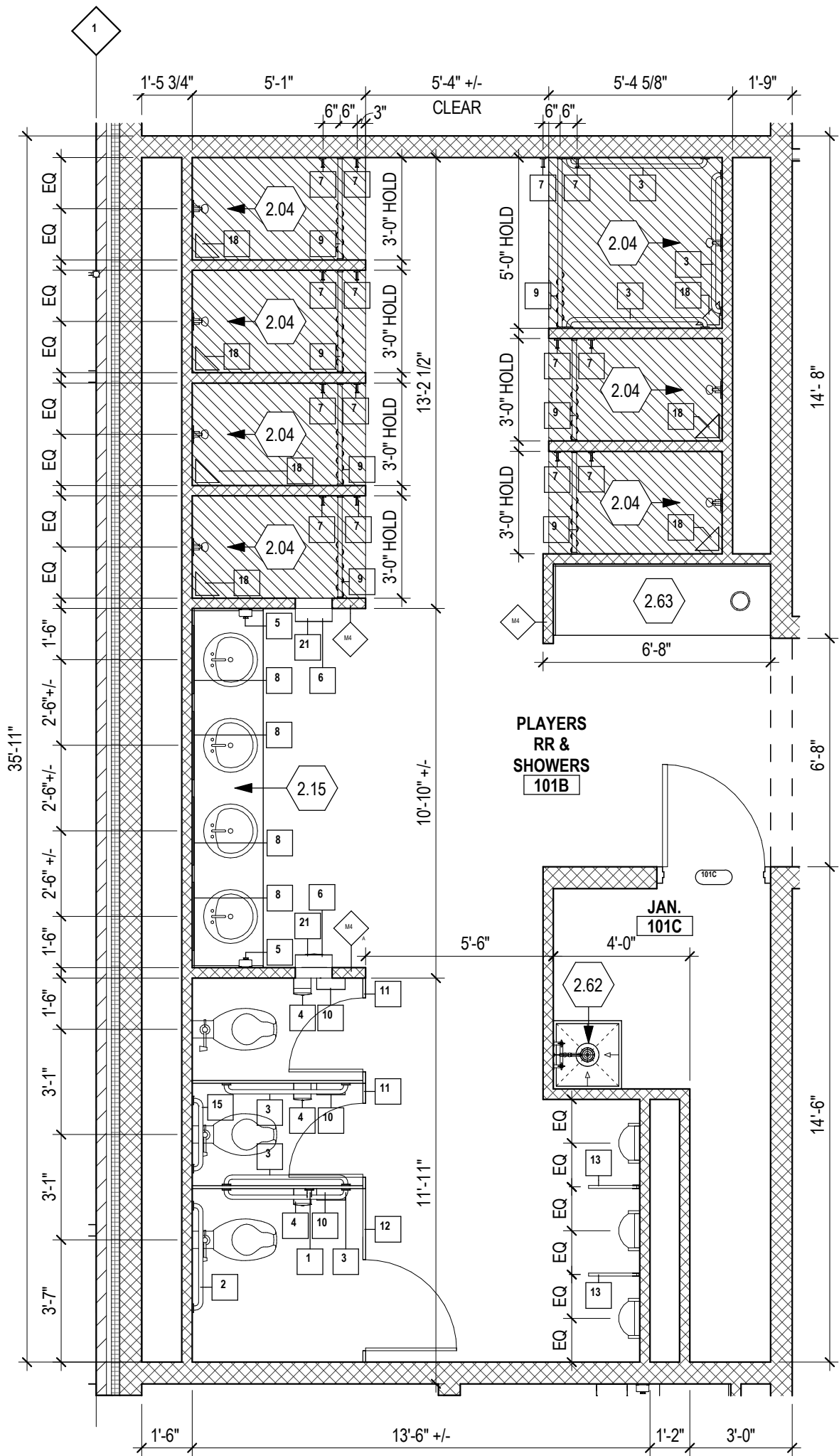
PROJECT NO. 24104.00

DRAWING TITLE:
REFERENCE SITE
PLAN

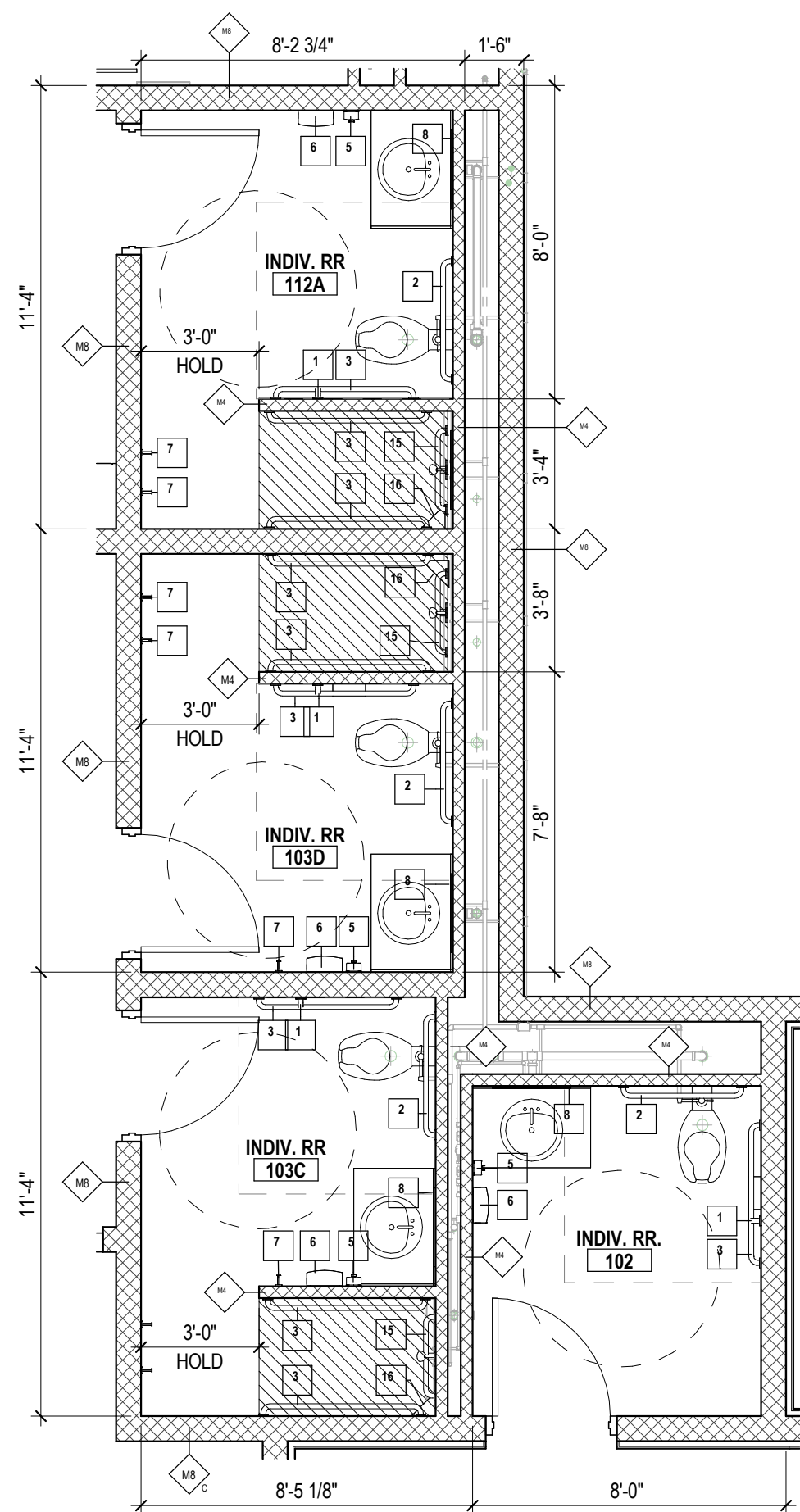
A0.10



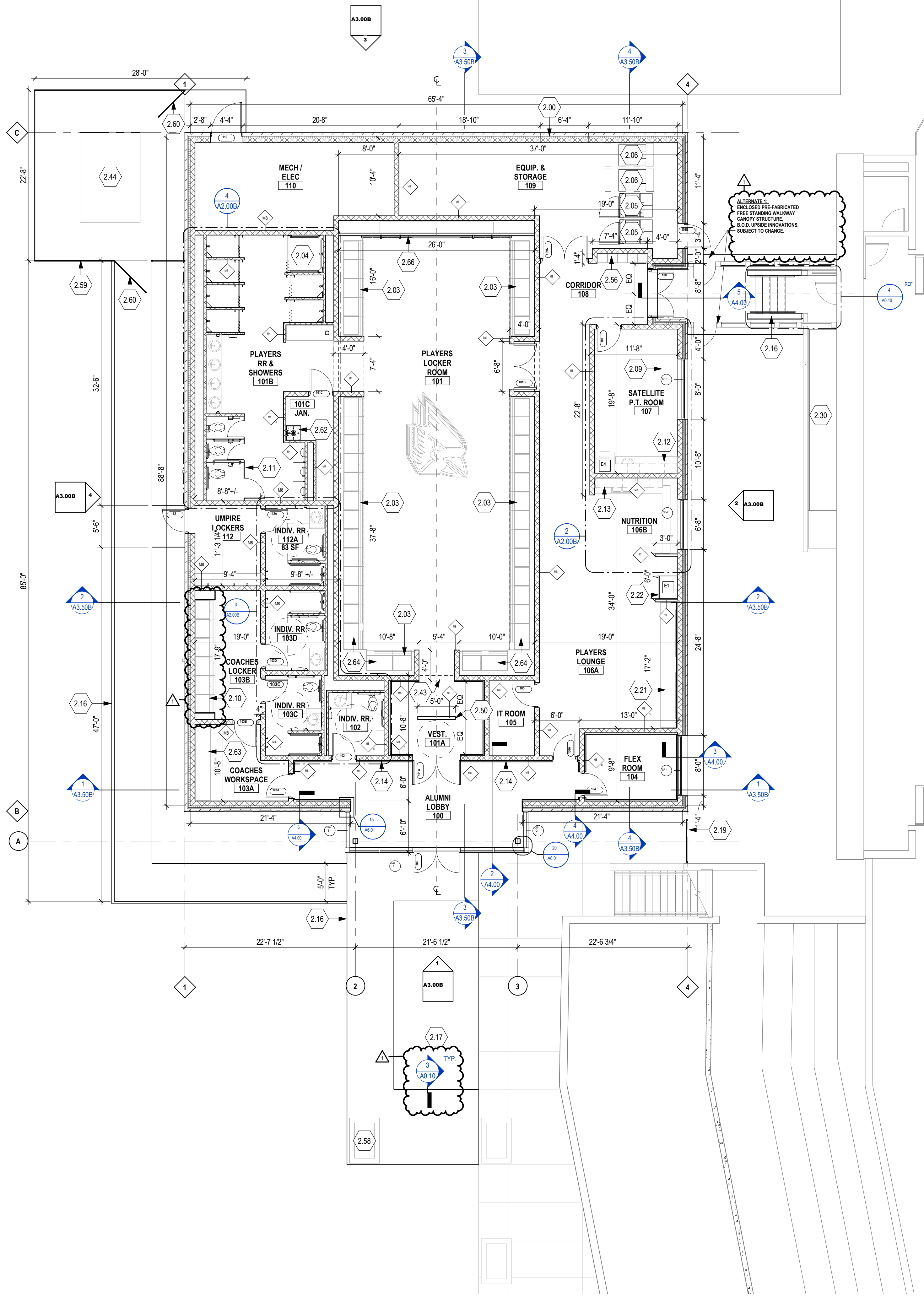
2 ENLARGED PLAN - SATELLITE P.T. ROOM & NUTRITION AREA



4 ENLARGED PLAN - PLAYERS RESTROOM & SHOWER



3 ENLARGED PLAN - COACHES + UMPIRE RESTROOM & SHOWER



1 BASEBALL BUILDING - CONSTRUCTION PLAN

GENERAL CONSTRUCTION NOTES

- ALL DIMENSIONS THAT ARE +/- OR +/- (PLUS OR MINUS) ARE TO BE DETERMINED EXACTLY BY FIELD MEASUREMENT.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS.
- LARGE SCALE DETAILS, GOVERN OVER SMALL SCALE DETAILS.
- IF CONTRACTOR SHOULD DISCOVER ANY UNFORESEEN PROBLEMS DURING THE REMOVAL OF ANY EXISTING CONSTRUCTION OR THE CONSTRUCTION OF ANY NEW WORK, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY AND THAT PARTICULAR WORK SHOULD BE DISCONTINUED UNTIL NECESSARY REVISIONS CAN BE DECIDED UPON.
- ALL DOORS IN METAL STUD PARTITIONS TO BE LOCATED WITH OUTSIDE EDGE OF THE FRAME 4" FROM PERPENDICULAR WALL. ALL MASONRY OPENINGS CREATED FOR NEW DOORS TO BE LOCATED 8" FROM PERPENDICULAR WALL. TYPICAL UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS GO TO ROOF DECK, UNLESS NOTED OTHERWISE.
- WHEN INFILLING AN OPENING WITHIN A MASONRY WALL, TOOTH-IN MASONRY TO MATCH EXISTING COURSING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF SHEATHING AND/OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
- COORDINATE FINAL PARTITION LOCATIONS WITH FURRING AT STRUCTURAL ELEMENTS.
- COORDINATE INTERIOR CONCRETE SLAB ON GRADE CONTROL JOINT PATTERN AT ALL HARD-TILED SURFACE AREAS WITH ARCHITECT.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF EXTERIOR SHEATHING, AND/OR FACE OF EXTERIOR MASONRY.
- PROVIDE 1/2" RADIUS BULLNOSE CMU UNITS AT ALL EXPOSED OUTSIDE CORNERS, TYPICAL UNLESS NOTED OTHERWISE.
- PAIN ALL EXPOSED EXTERIOR LINTELS TO MATCH THE BRICK MASONRY.

KEYNOTES - CONSTRUCTION

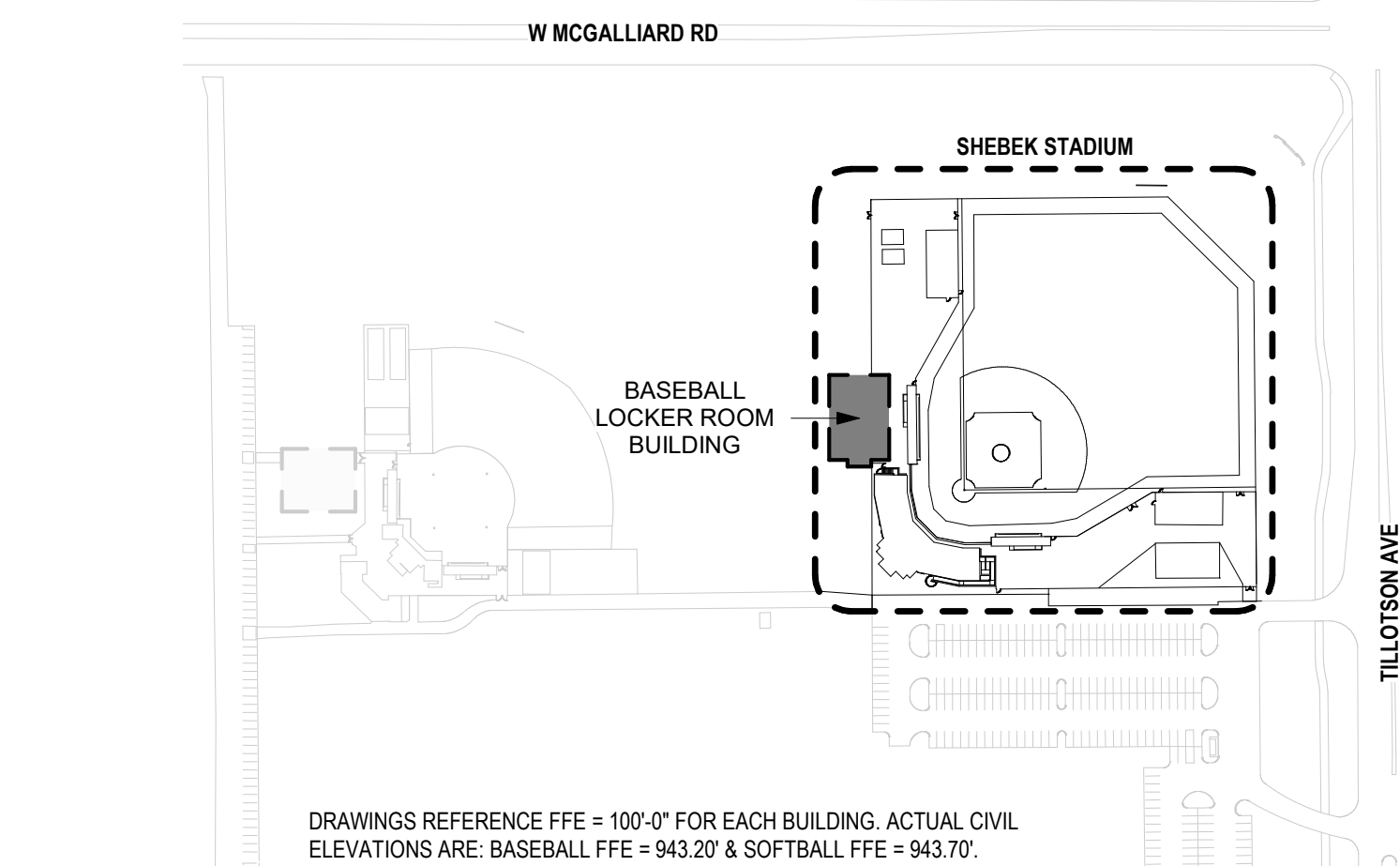
- KNOCKOUT WALL PANEL LINTEL FOR A DOUBLE DOOR OPENING. PROVIDE CONTINUOUS MASONRY JOINT.
- 86" H x 30" W x 30" D PHENOLIC ATHLETIC LOCKER WITH INTEGRATED POWER AT LOCKABLE COMPARTMENT & OPERABLE BENCH SEAT AT BASE. SEE MILLWORK DETAILS. MINIMUM 5% OF LOCKERS MUST BE ACCESSIBLE. TYPICAL AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
- AREA SHOWN HATCHED DEPICTS DEPRESSED SLAB AREA FOR SLOPED NO THRESHOLD EPOXY FLOOR SHOWER PAN. FLOOR DRAIN INSTALLED AT 1/2-INCH BELOW FINISHED FLOOR ELEVATION. SLOPE INFILL AND EPOXY TO LINEAR DRAIN, MINIMUM 1/4" / 1'-0". REFER TO PLUMBING & STRUCTURAL DRAWINGS.
- APPROX. LOCATION OF FUTURE INDUSTRIAL GRADE WASHER UNITS. BY OWNER. CONTRACTOR TO PROVIDE ALL ROUGH-INS & CONCRETE EQUIPMENT PAD, AS NEEDED. REFER TO ELECTRICAL & PLUMBING DRAWINGS FOR FULL EXTENT OF WORK.
- APPROX. LOCATION OF FUTURE INDUSTRIAL GRADE DRYER UNITS. BY OWNER. CONTRACTOR TO PROVIDE ALL ROUGH-INS & CONCRETE EQUIPMENT PAD, AS NEEDED. REFER TO ELECTRICAL & PLUMBING DRAWINGS FOR FULL EXTENT OF WORK.
- SOLID SURFACE MILLWORK WITH UNDERMOUNT SINK. REFER TO MILLWORK DETAILS.
- MECHANICAL PLUMBING EQUIPMENT ACCESS RAMP TO REMAIN. PROTECT DURING CONSTRUCTION.
- 210 72" H x 30" W x 30" D PHENOLIC LOCKERS WITH INTEGRATED BENCH SEAT AT BASE. SIMILAR TO ATHLETIC LOCKERS. MINIMUM 5% OF LOCKERS MUST BE ACCESSIBLE PER 1109.12.1 OF THE INDIANA BUILDING CODE.
- LOCKERS WITH PARTITIONS. PROVIDE CURB BENCHES AS REQUIRED BY IBC. REFER TO ACCESSORY SCHEDULE.
- QUARTZ COUNTERTOP OVER BASE CABINETS WITH WALL MOUNTED SHELVING ABOVE.
- QUARTZ COUNTERTOP OVER BASE CABINETS WITH UNDERMOUNT SINK AND KITCHEN APPLIANCES. TBD BY OWNER.
- LOCATION OF WALL-MOUNTED TV BY OWNER @ 9'-0" AFF ON CENTER U.O.N. PROVIDE IN-WALL CLOCKING AND POWER/DATA. REFER TO ELECTRICAL DRAWINGS.
- SOLID SURFACE COUNTERTOP WITH UNDERMOUNT SINKS & WALL MOUNTED ACCESSORIES.
- CONCRETE CURB AND WALKWAY. PREPARE FOR LANDSCAPING BY OWNER. REFER TO CIVIL DRAWINGS.
- NEW BELDEN ADMIRAL RED BRICK PAVERS. SQUARE EDGES - 2 1/4" X 4" X 8".
- NEW DECORATIVE FENCING AND GATE WHEN APPLICABLE. TO MATCH EXISTING FENCING (6" HIGH TYP).
- BASE CABINETS AND LOCATION FOR TVS. PROVIDE POWER FOR TVS. REFER TO INTERIOR ELEVATIONS.
- REFRIGERATOR.
- EXISTING DISCOUNT AND ACCESS RAMP TO REMAIN. PROTECT DURING CONSTRUCTION.
- LINTEL. REFER TO STRUCTURAL DRAWINGS.
- CONCRETE PAD FOR MECHANICAL UNIT. REFER TO MECHANICAL DRAWINGS.
- STANDARD ONE DIVIDER WALL. PROVIDE EXTRA WOOD BLOCKING.
- BUILT-IN SHOE STORAGE CUBBIES FOR A MINIMUM OF 40 PAIRS. PROVIDED BY OWNERS.
- EXISTING CONCRETE PLANTER. PROTECT DURING CONSTRUCTION AND RELOCATE.
- 8" H BLACK VINYL-COATED CHAIN LINK FENCE WITH PRIVACY SCREENING. REFER TO SPECS.
- 8" H BLACK VINYL-COATED CHAIN LINK FENCE GATE WITH PRIVACY SCREENING. REFER TO SPECS.
- MOP SINK. REFER TO PLUMBING DRAWINGS.
- BUILT-IN SOLID SERVICE WORK COUNTER. REFER TO INTERIOR ELEVATIONS.
- AT THIS LOCATION ONLY. 96" H x 42" W x 30" D PHENOLIC ATHLETIC LOCKER WITH INTEGRATED POWER AT LOCKABLE COMPARTMENT & OPERABLE BENCH SEAT AT BASE. SEE MILLWORK DETAILS.
- BUILT-IN MILLWORK WITH GYPSUM METAL STUD FRAMING ABOVE. REFER TO DETAIL 11A/10.01.

EQUIPMENT SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	B.O.D. MODEL	DIMENSIONS (WxDxH)	PROVIDED BY	INSTALLED BY	COMMENTS
E1	REFRIGERATOR W/ BOTTOM FREEZER	TBD	TBD	3'-0" x 3'-0" x 7'-0"	OWNER	OWNER	
E2	MICROWAVE	TBD	TBD	2'-0" x 1'-4" x 2'-6"	OWNER	OWNER	
E3	UNDERCOUNTER DISHWASHER	TBD	TBD		OWNER	CONTRACTOR	PANEL READY APPLIANCE. PROVIDE
E4	ICE MACHINE	TBD	TBD	2'-6" x 3'-0" x 8'-0"	OWNER	OWNER	PANEL TO MATCH ADJACENT MILLWORK.

ACCESSORY SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
1	18" GRAB BAR	BOBRICK	B-150C. MBLK SERIES	BAR IN VERTICAL POSITION
2	36" GRAB BAR	BOBRICK	B-150C. MBLK SERIES	
3	42" GRAB BAR	BOBRICK	B-150C. MBLK SERIES	
4	SRF. MOUNTED TOILET PAPER DISPENSER	BOBRICK	B-3588 MBLK	PROVIDED BY OWNER. G.C. TO INSTALL & FIELD VERIFY LOCATION WITH OWNER.
5	SRF. MOUNTED SOAP DISPENSER	BOBRICK	B-2012 MBLK	PROVIDED & INSTALLED BY OWNER.
6	SRF. MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-2062 MBLK	PROVIDED BY OWNER. G.C. TO INSTALL & FIELD VERIFY LOCATION WITH OWNER.
7	SRF. MOUNTED TOWEL HOOK	BOBRICK	B-7671 MBLK	MOUNT AT 86" A.F.F. CENTER ON STUD U.O.N. PROVIDE BLOCKING.
8	CUSTOM SIZED PLATE GLASS MIRROR			SECURED WITH CONCEALED FASTENERS - REFER TO INTERIOR ELEVATIONS FOR PANEL SIZE & JOINTS.
9	SHOWER CURTAIN & ROD	BOBRICK	ROD: B-207; CURTAIN: B-204	CENTER AT 76" A.F.F.
10	SANITARY NAPKIN DISPOSAL	BOBRICK	B-35139 MBLK	PROVIDED & INSTALLED BY OWNER.
11	36" WIDE TOILET PARTITION, TYP	BRADLEY CORPORATION	SEE SPECIFICATIONS	
12	60" WIDE ADA TOILET PARTITION, TYP	BRADLEY CORPORATION	SEE SPECIFICATIONS	
13	SRF. MOUNTED URINAL PARTITION	BRADLEY CORPORATION	SEE SPECIFICATIONS	
14	18" GRAB BAR	BOBRICK	B-150C. MBLK SERIES	BAR IN HORIZONTAL POSITION
15	24" GRAB BAR	BOBRICK	B-150C. MBLK SERIES	
16	WALL MOUNTED FOOT LEDGE	KOHLER	K-23287	MOUNT AT 16" A.F.F.
17	COUNTERMOUNTED CIRCULAR WASTE CHUTE	BOBRICK	B-532	
18	CORNER SHOWER SHELVES	SCHLUTER	SHELF E WAVE	2 EACH SHOWER MOUNTED AT 40" & 58" AFF. FINISH MATTE BLACK.
20	ADA SHOWER SEAT			
21	TRASH RECEPTACLE	BOBRICK	B-36649 MBLK	PROVIDED & INSTALLED BY OWNER.

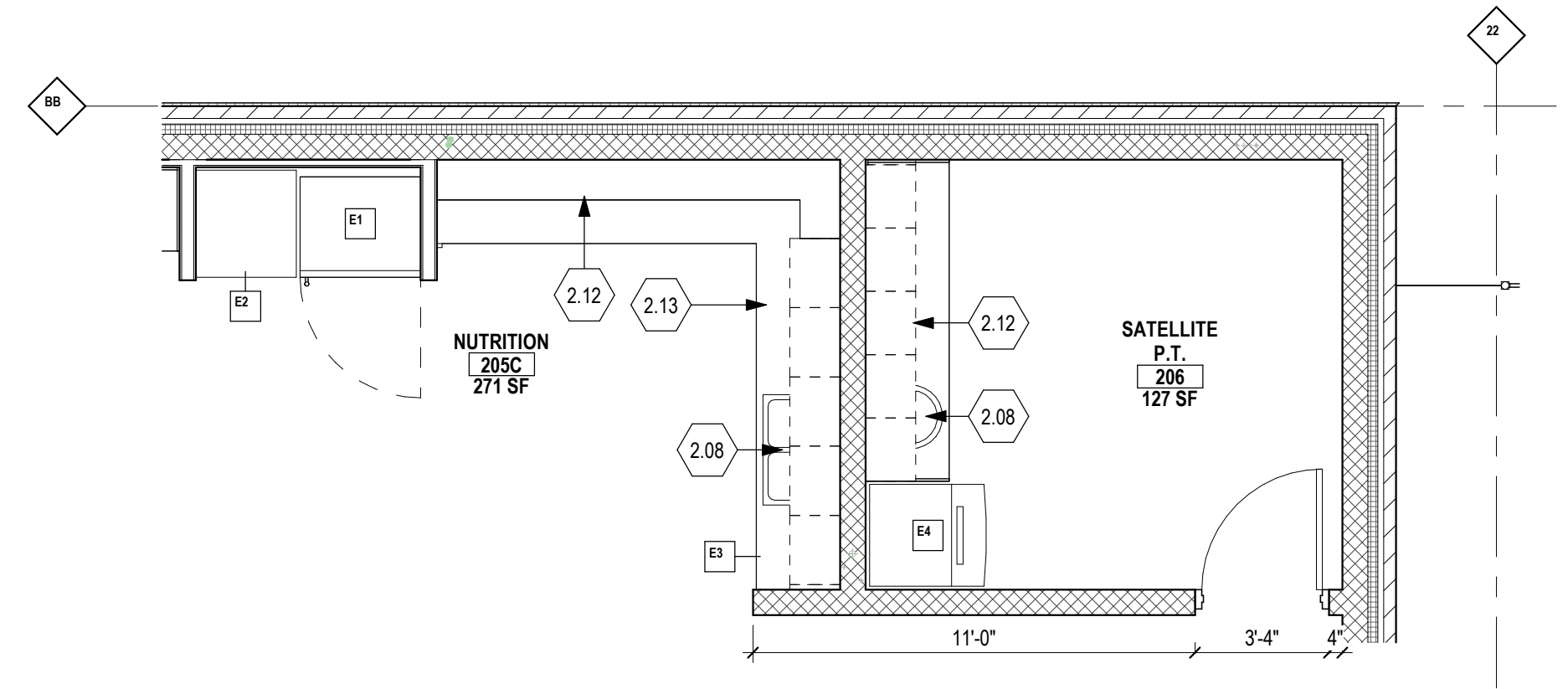


KEY PLAN - BASEBALL COMPLEX

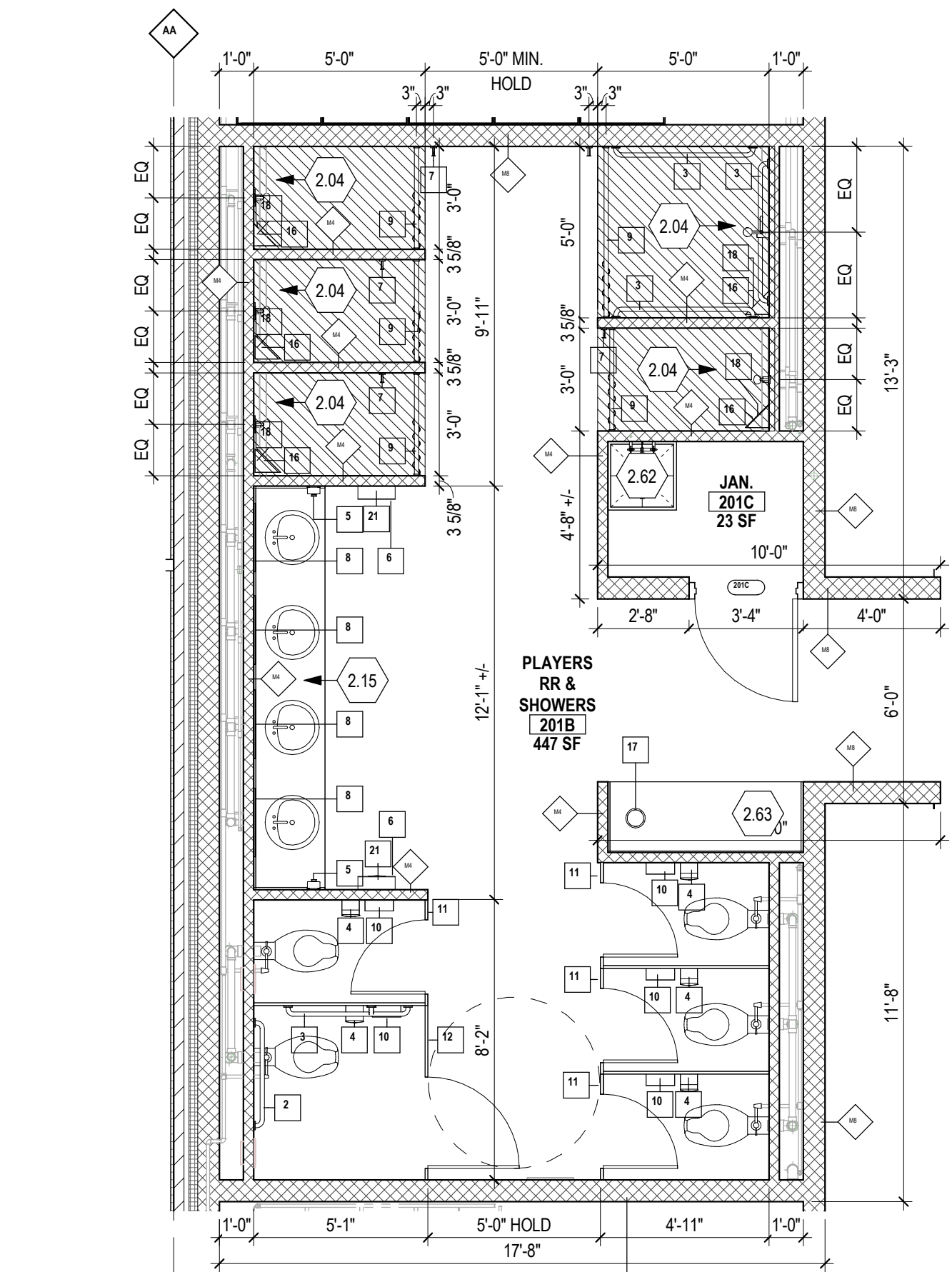
NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BUYER PERMIT SET
1	12/15/2025	ADDENDUM 2

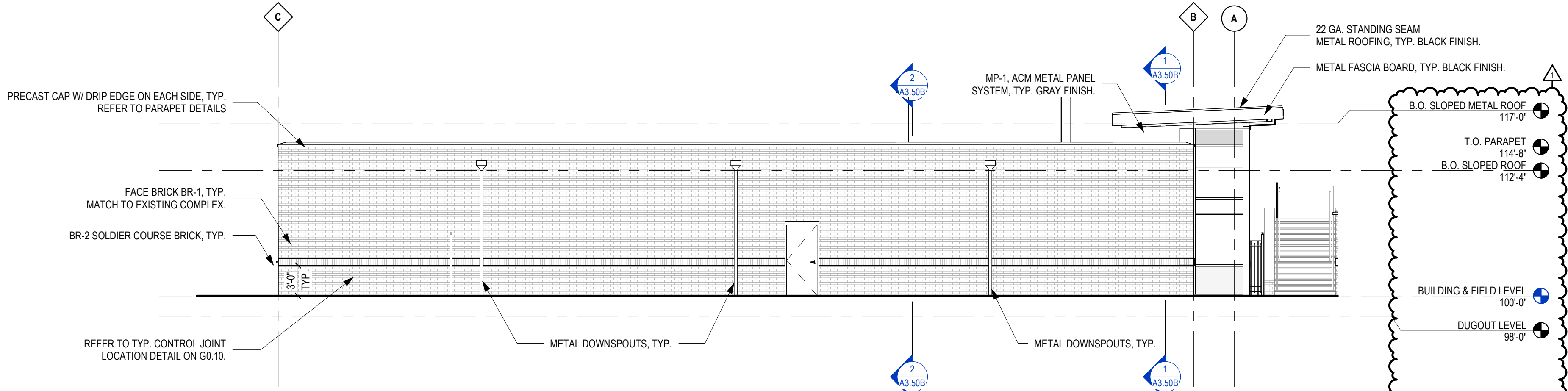
PROJECT NO. 24104.00

DRAWING TITLE:
CONSTRUCTION
PLAN - BASEBALL
BUILDING

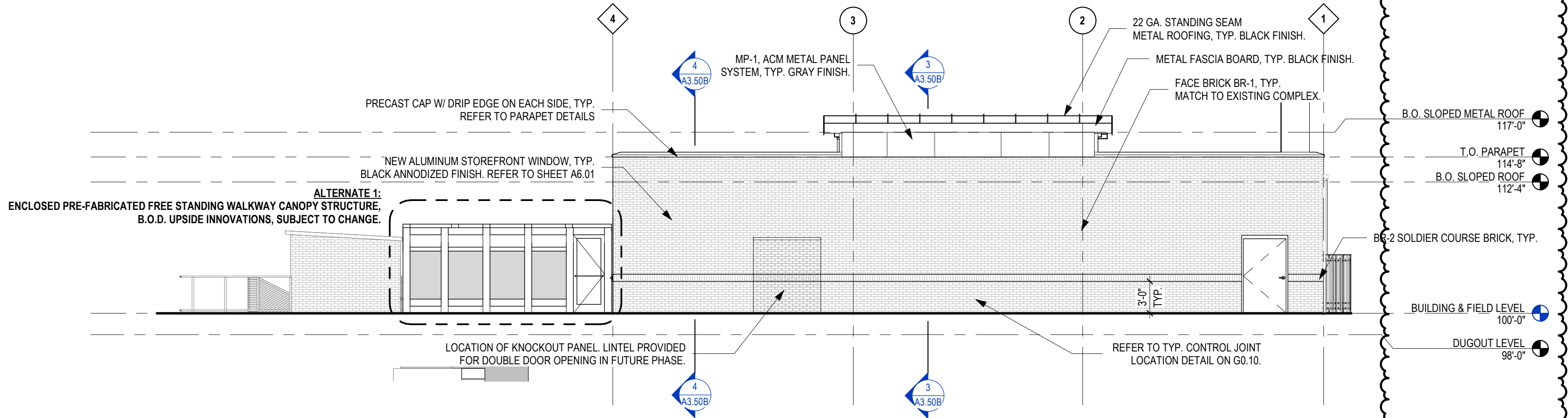


4 ENLARGED PLAN - SATELLITE P.T. & NUTRITION
1/4" = 1'-0"

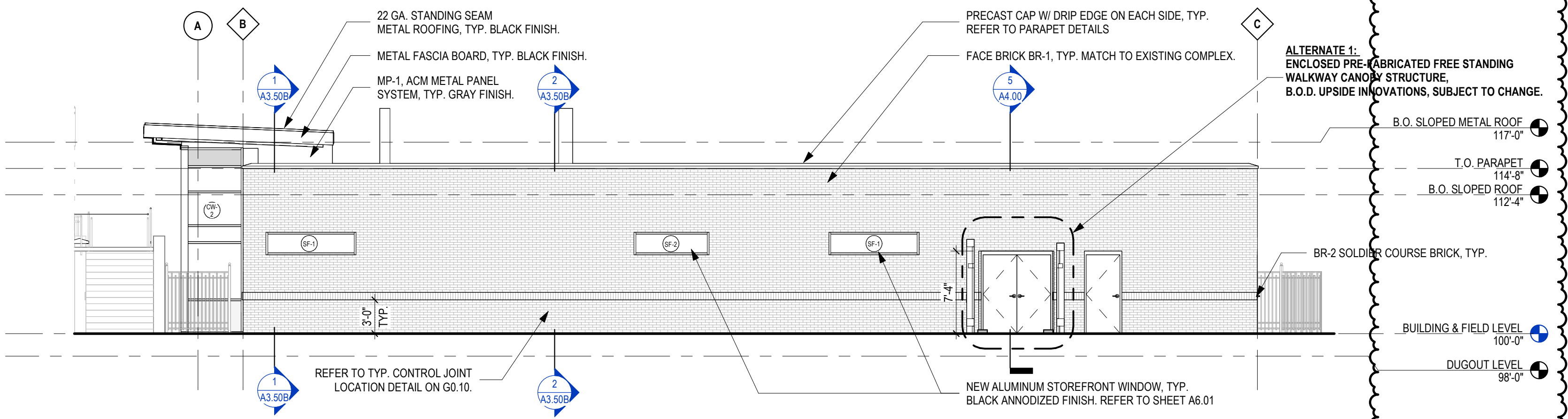




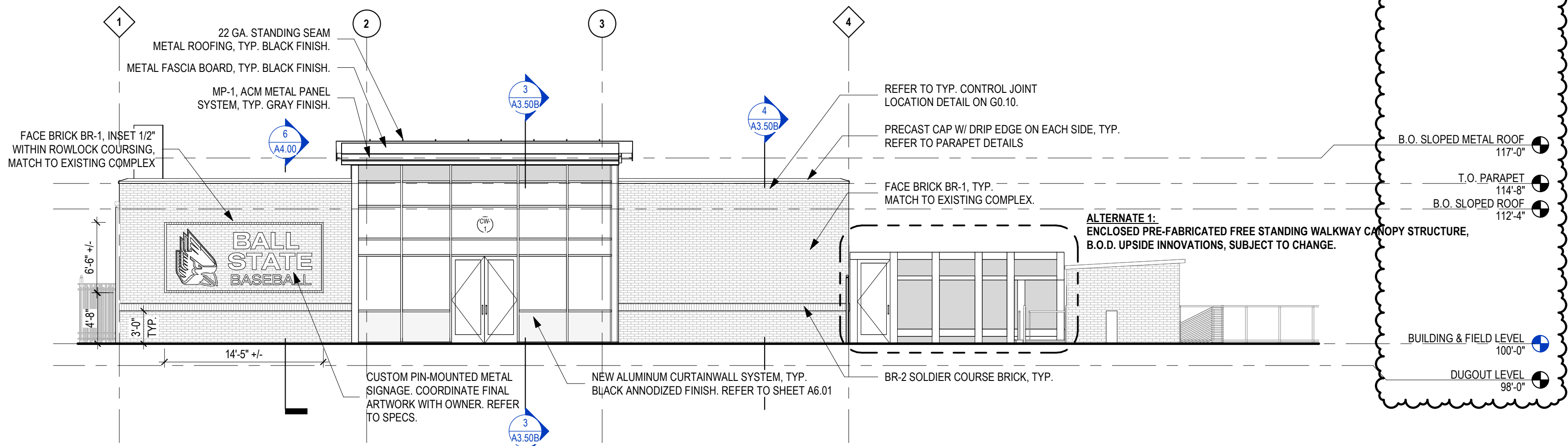
BASEBALL BUILDING - EXTERIOR ELEVATION (WEST)



BASEBALL BUILDING - EXTERIOR ELEVATION (NORTH)



BASEBALL BUILDING - EXTERIOR ELEVATION (EAST)



BASEBALL BUILDING - EXTERIOR ELEVATION (SOUTH)

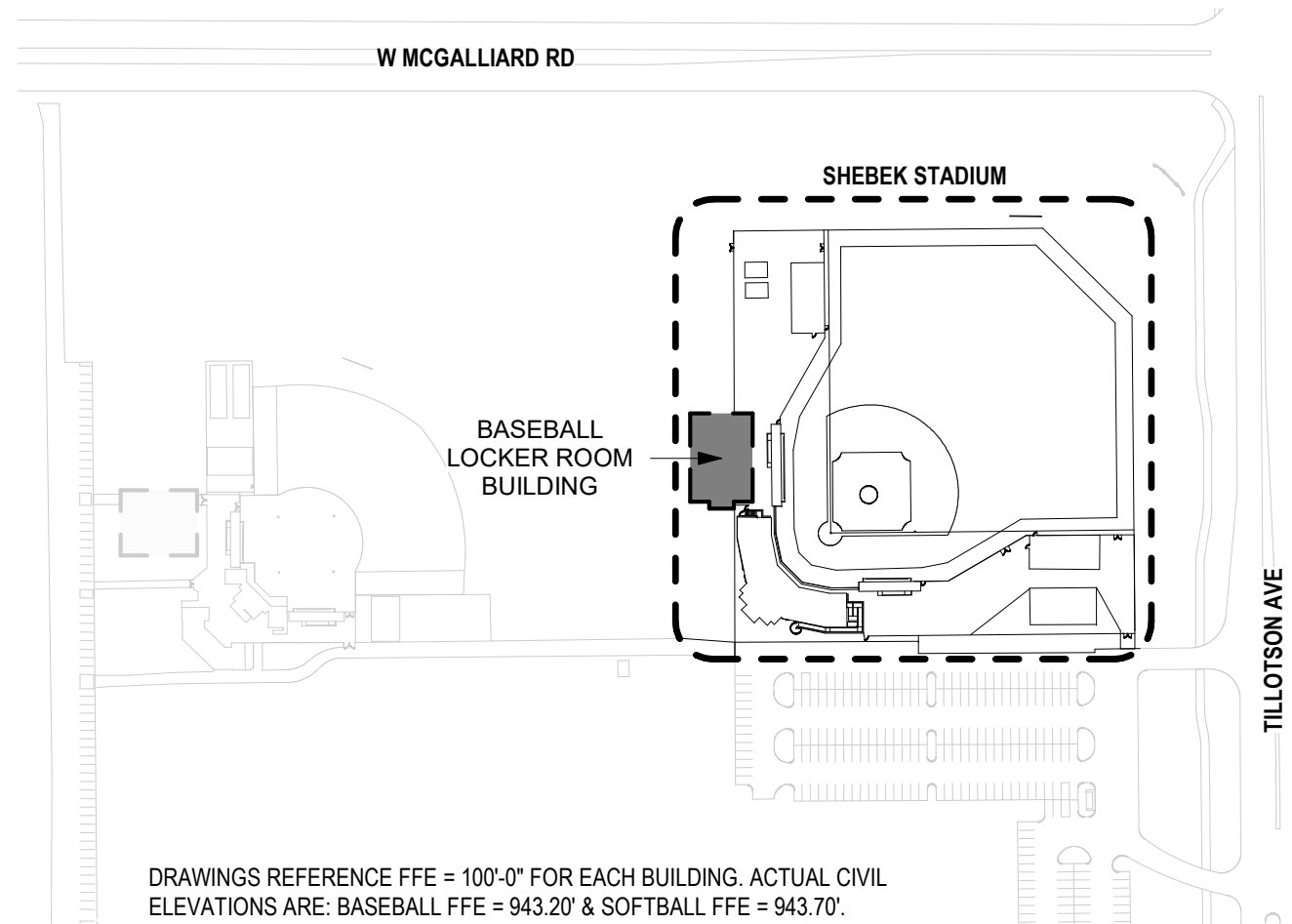
GENERAL CONSTRUCTION NOTES

- A. ALL DIMENSIONS THAT ARE +/- OR ± (PLUS OR MINUS) ARE TO BE DETERMINED EXACTLY BY FIELD MEASUREMENT.
- B. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- C. ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS.
- D. LARGE SCALE DETAILS, GOVERN OVER SMALL SCALE DETAILS.
- E. IF CONTRACTOR SHOULD DISCOVER ANY UNFORSEEN PROBLEMS DURING THE REMOVAL OF ANY EXISTING CONSTRUCTION OR THE CONSTRUCTION OF ANY NEW WORK, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY AND THAT PARTICULAR WORK SHOULD BE DISCONTINUED UNTIL NECESSARY REVISIONS CAN BE DECIDED UPON.
- F. ALL DOORS IN METAL STUD PARTITIONS TO BE LOCATED WITH OUTSIDE EDGE OF THE FRAME 4" FROM PERPENDICULAR WALL. ALL MASONRY OPENINGS CREATED FOR NEW DOORS TO BE LOCATED 8" FROM PERPENDICULAR WALL. TYPICAL UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR WALLS GO TO ROOF DECK, UNLESS NOTED OTHERWISE.
- H. WHEN INFILLING AN OPENING WITHIN A MASONRY WALL, TOOTH-IN MASONRY TO MATCH EXISTING COURSING, UNLESS NOTED OTHERWISE.
- I. ALL INTERIOR DIMENSIONS ARE TO FACE OF SHEATHING AND/OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
- J. COORDINATE FINAL PARTITION LOCATIONS WITH FURRING AT STRUCTURAL ELEMENTS.
- K. COORDINATE INTERIOR CONCRETE SLAB ON GRADE CONTROL JOINT PATTERN AT ALL HARD-TILED SURFACE AREAS WITH ARCHITECT.
- L. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF EXTERIOR SHEATHING, AND/OR FACE OF EXTERIOR MASONRY.
- M. PROVIDE 1/2" RADIUS BULLNOSE CMU UNITS AT ALL EXPOSED OUTSIDE CORNERS, TYPICAL UNLESS NOTED OTHERWISE.
- N. PAINT ALL EXPOSED EXTERIOR LINTELS TO MATCH THE BRICK MASONRY.

KEYNOTES - CONSTRUCTION

ELEVATION MATERIAL LEGEND

- BR1 BR1 - BRICK, MATCH TO EXISTING STRUCTURES
- BR2 BR2 - BRICK, SOLDIER COURSE, MATCH TO EXISTING STRUCTURES
- MP1 MP1 - AMC METAL PANEL, TYP. GRAY FINISH
- DS DOWNSPOUT



KEY PLAN - BASEBALL COMPLEX

BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

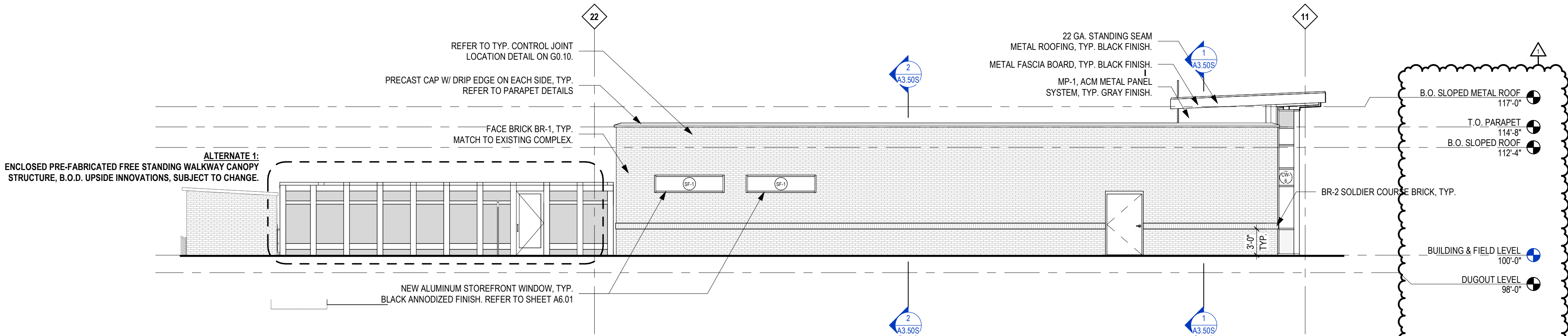
This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN. Copyright MSA DESIGN. MSA DESIGN All Rights Reserved. MSA SPORT is a division of MSA DESIGN.

NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

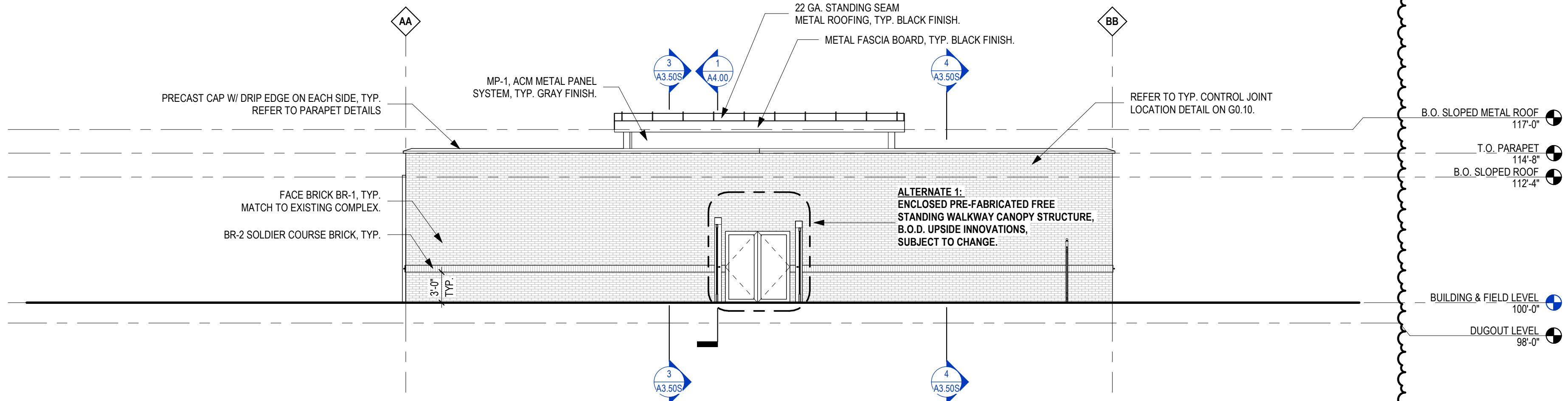
DRAWING TITLE:
EXTERIOR
ELEVATIONS -
BASEBALL BUILDING

A3.00B



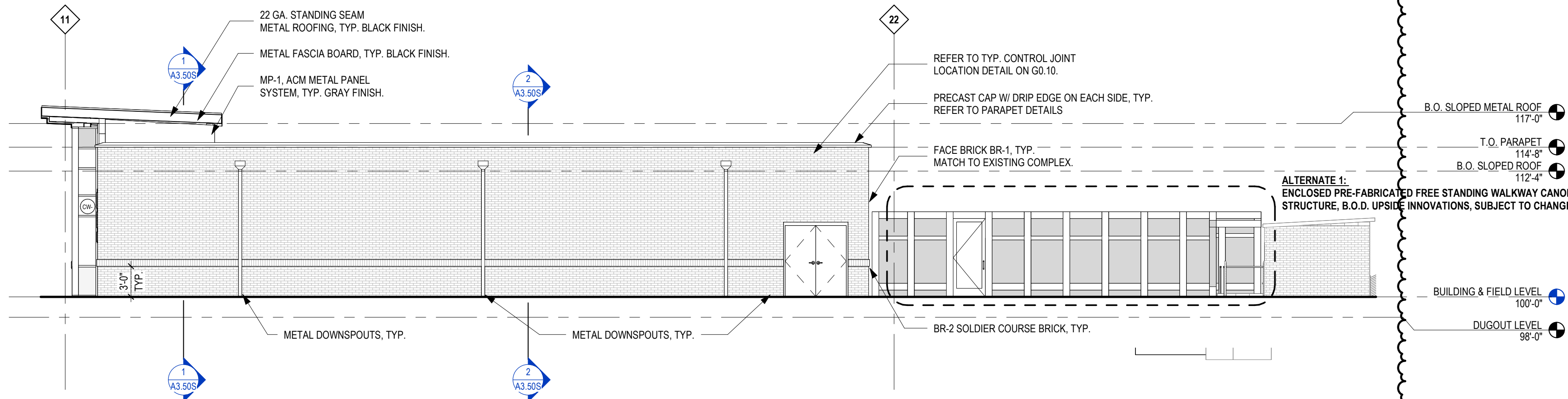
4
A3.00S
1/8" = 1'-0"

SOFTBALL BUILDING - EXTERIOR ELEVATION (NORTH)



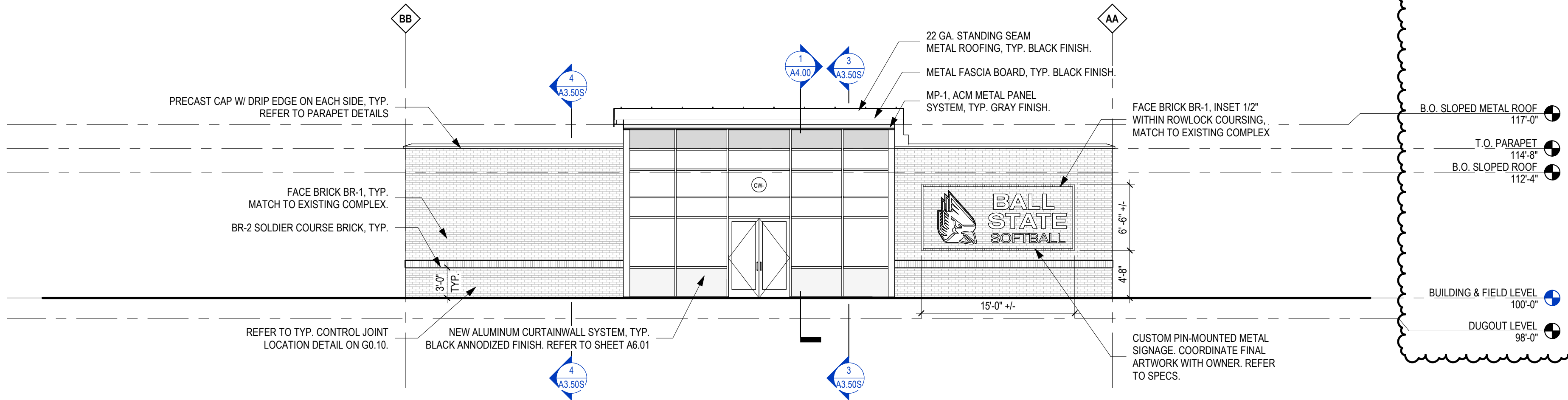
3
A3.00S
1/8" = 1'-0"

SOFTBALL BUILDING - EXTERIOR ELEVATION (EAST)



2
A3.00S
1/8" = 1'-0"

SOFTBALL BUILDING - EXTERIOR ELEVATION (SOUTH)



1
A3.00S
1/8" = 1'-0"

SOFTBALL BUILDING - EXTERIOR ELEVATION (WEST)

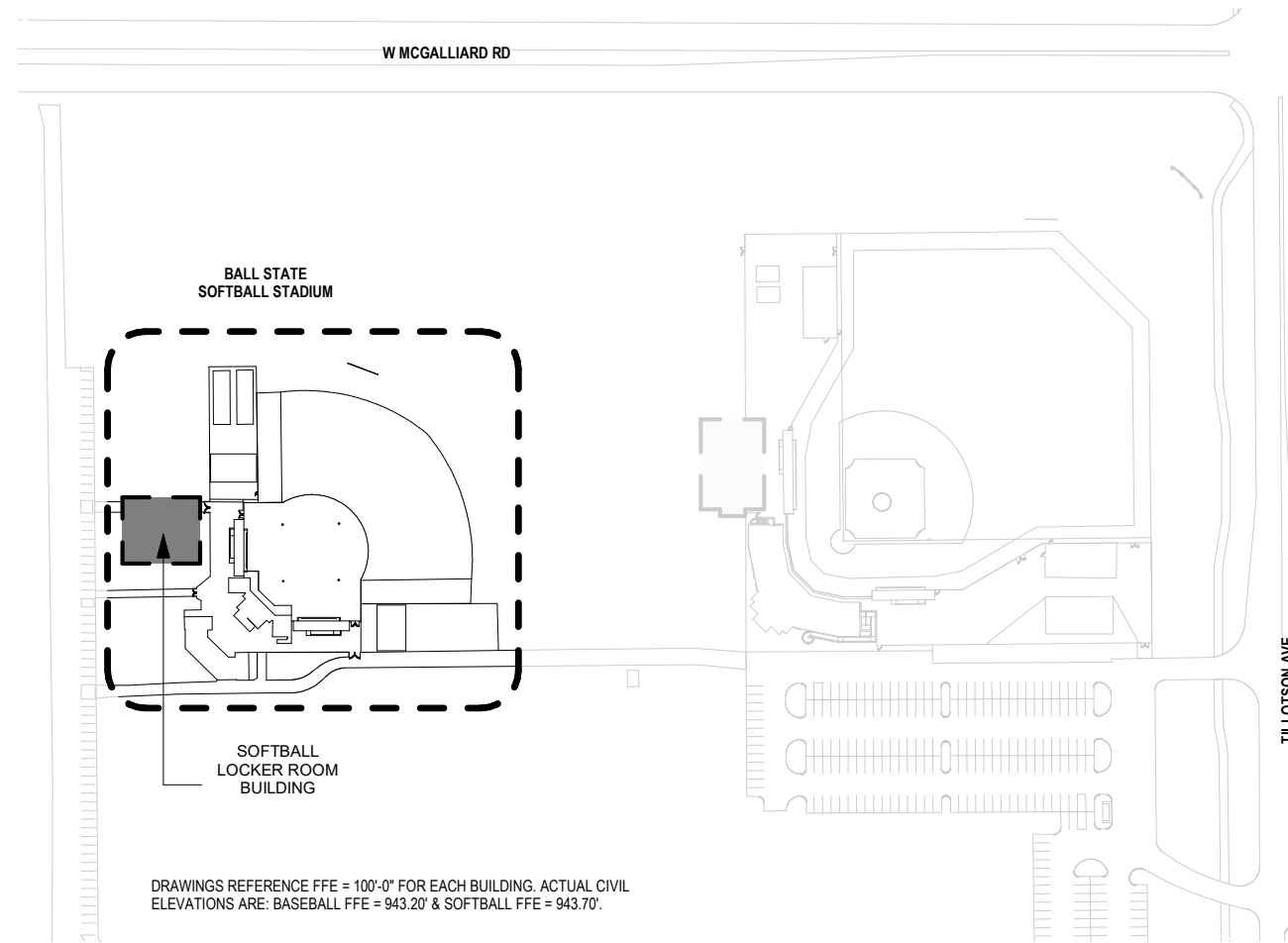
GENERAL CONSTRUCTION NOTES

- A. ALL DIMENSIONS THAT ARE +/- OR ± (PLUS OR MINUS) ARE TO BE DETERMINED EXACTLY BY FIELD MEASUREMENT.
- B. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- C. ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS.
- D. LARGE SCALE DETAILS, GOVERN OVER SMALL SCALE DETAILS.
- E. IF CONTRACTOR SHOULD DISCOVER ANY UNFORSEEN PROBLEMS DURING THE REMOVAL OF ANY EXISTING CONSTRUCTION OR THE CONSTRUCTION OF ANY NEW WORK, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY AND THAT PARTICULAR WORK SHOULD BE DISCONTINUED UNTIL NECESSARY REVISIONS CAN BE DECIDED UPON.
- F. ALL DOORS IN METAL STUD PARTITIONS TO BE LOCATED WITH OUTSIDE EDGE OF THE FRAME 4" FROM PERPENDICULAR WALL. ALL MASONRY OPENINGS CREATED FOR NEW DOORS TO BE LOCATED 8" FROM PERPENDICULAR WALL. TYPICAL UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR WALLS GO TO ROOF DECK, UNLESS NOTED OTHERWISE.
- H. WHEN INFILLING AN OPENING WITHIN A MASONRY WALL, TOOTH-IN MASONRY TO MATCH EXISTING COURSING, UNLESS NOTED OTHERWISE.
- I. ALL INTERIOR DIMENSIONS ARE TO FACE OF SHEATHING AND/OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
- J. COORDINATE FINAL PARTITION LOCATIONS WITH FURRING AT STRUCTURAL ELEMENTS.
- K. COORDINATE INTERIOR CONCRETE SLAB ON GRADE CONTROL JOINT PATTERN AT ALL HARD-TILED SURFACE AREAS WITH ARCHITECT.
- L. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF EXTERIOR SHEATHING, AND/OR FACE OF EXTERIOR MASONRY.
- M. PROVIDE 1/2" RADIUS BULLNOSE CMU UNITS AT ALL EXPOSED OUTSIDE CORNERS, TYPICAL UNLESS NOTED OTHERWISE.
- N. PAINT ALL EXPOSED EXTERIOR LINTELS TO MATCH THE BRICK MASONRY.

KEYNOTES - CONSTRUCTION

ELEVATION MATERIAL LEGEND

BR1	BR1 - BRICK, MATCH TO EXISTING STRUCTURES
BR2	BR2 - BRICK, SOLDIER COURSE, MATCH TO EXISTING STRUCTURES
MP1	MP1 - AMC METAL PANEL, TYP. GRAY FINISH
DS	DOWNSPOUT



KEY PLAN - SOFTBALL COMPLEX

NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	SD PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

DRAWING TITLE:
EXTERIOR
ELEVATIONS -
SOFTBALL BUILDING

3200 N TILLOTSON AVE, MUNCIE, IN 47306

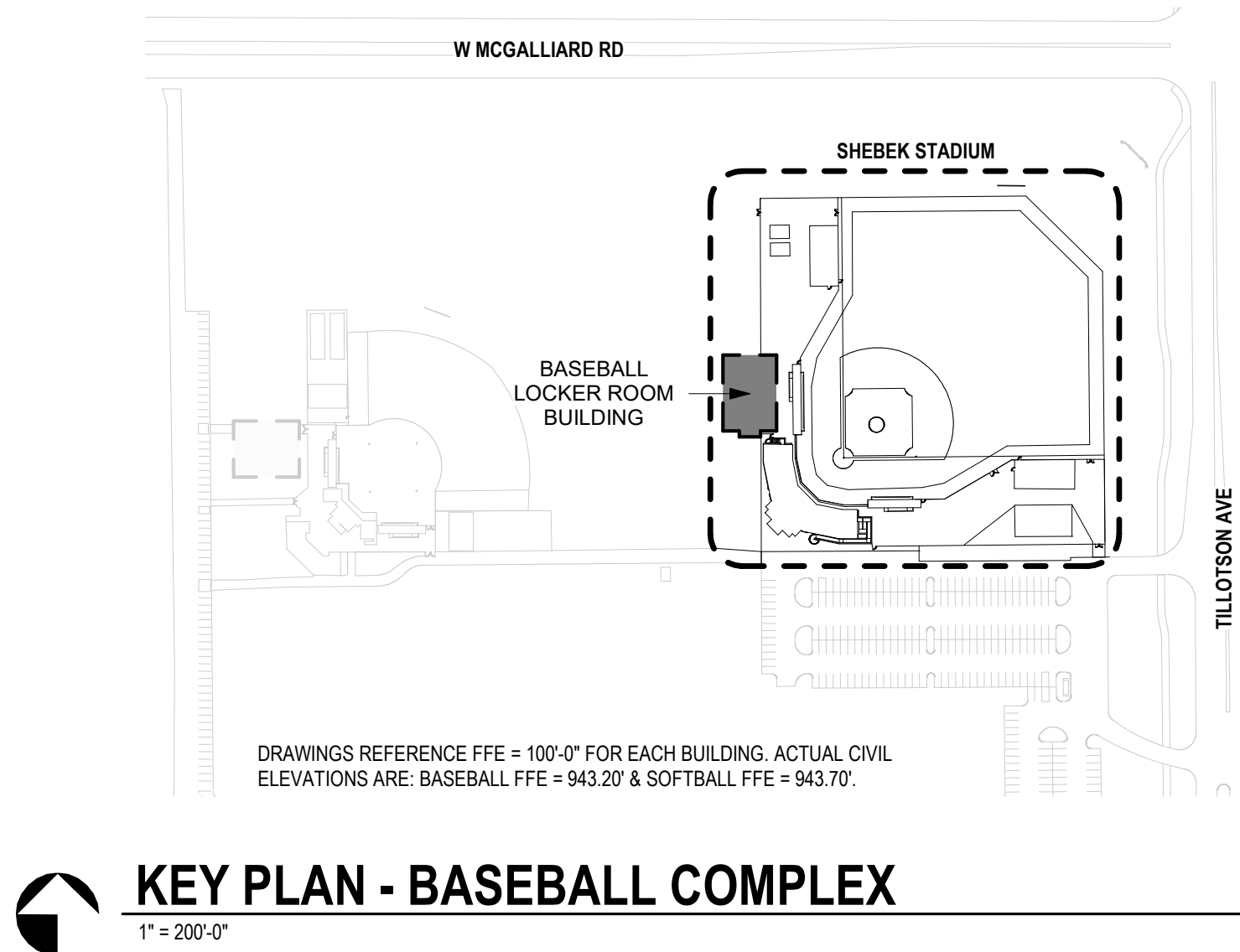
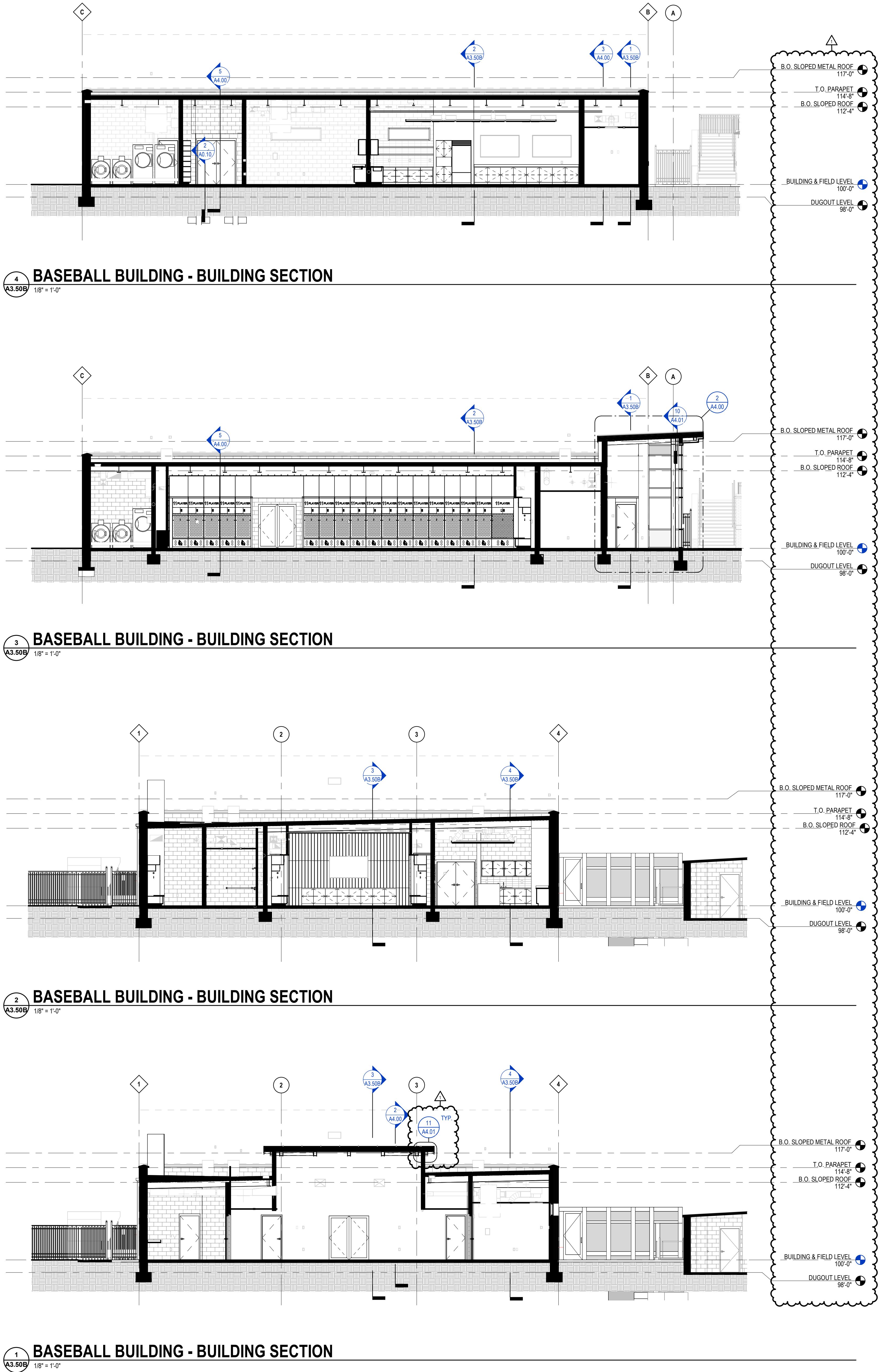
This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.
Copyright MSA DESIGN.
MSA DESIGN All Rights Reserved
MSA SPORT is a division of MSA DESIGN

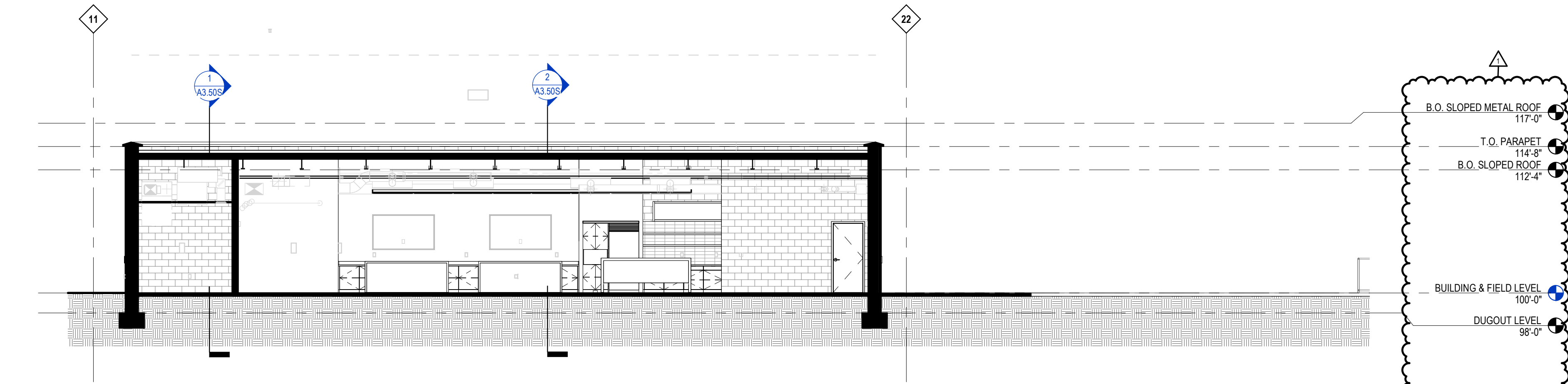
NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

DRAWING TITLE:
BUILDING SECTIONS
- BASEBALL
BUILDING

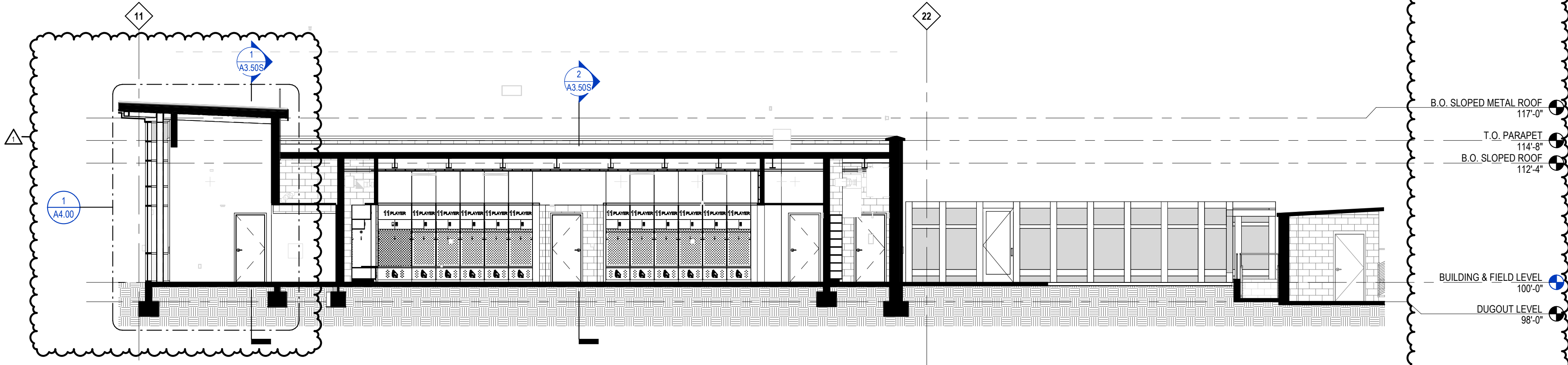
A3.50B





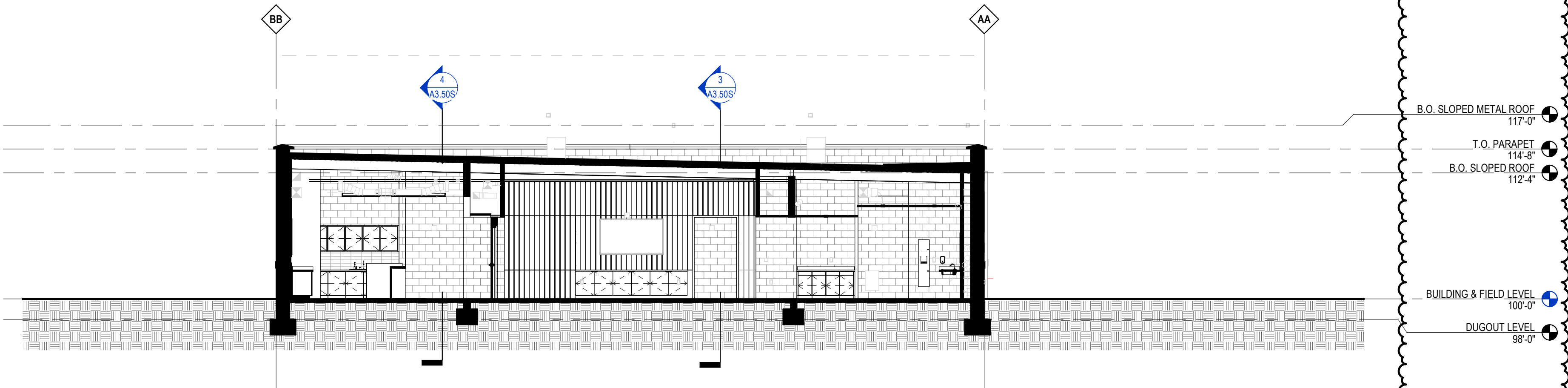
4 SOFTBALL BUILDING - BUILDING SECTION

A3.50S 1/8" = 1'-0"



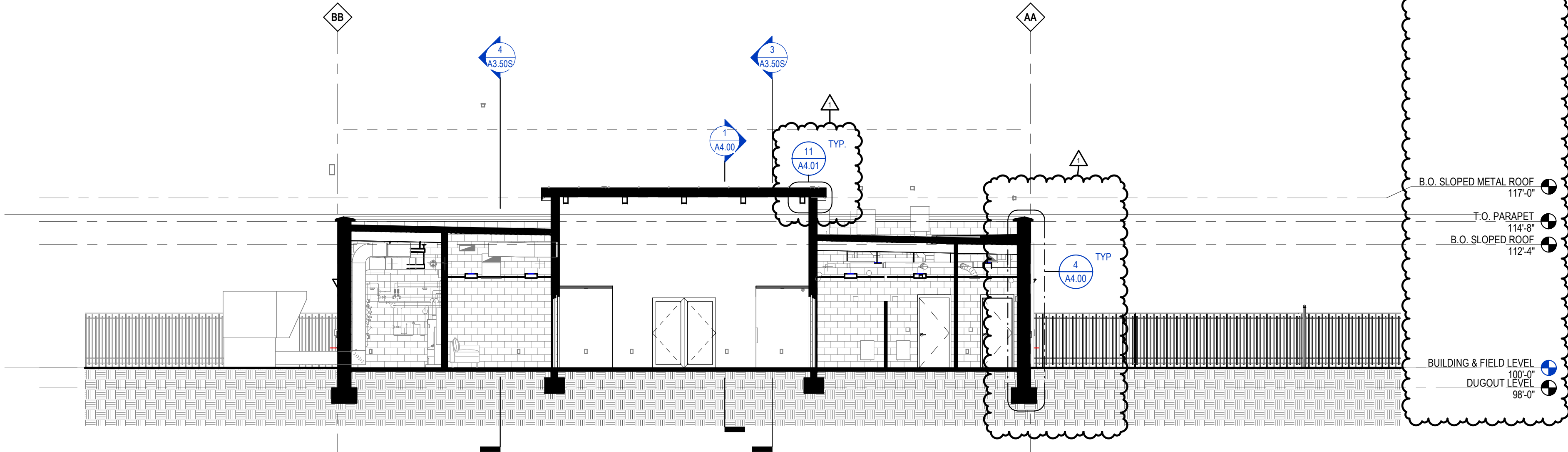
3 SOFTBALL BUILDING - BUILDING SECTION

A3.50S 1/8" = 1'-0"



2 SOFTBALL BUILDING - BUILDING SECTION

A3.50S 1/8" = 1'-0"

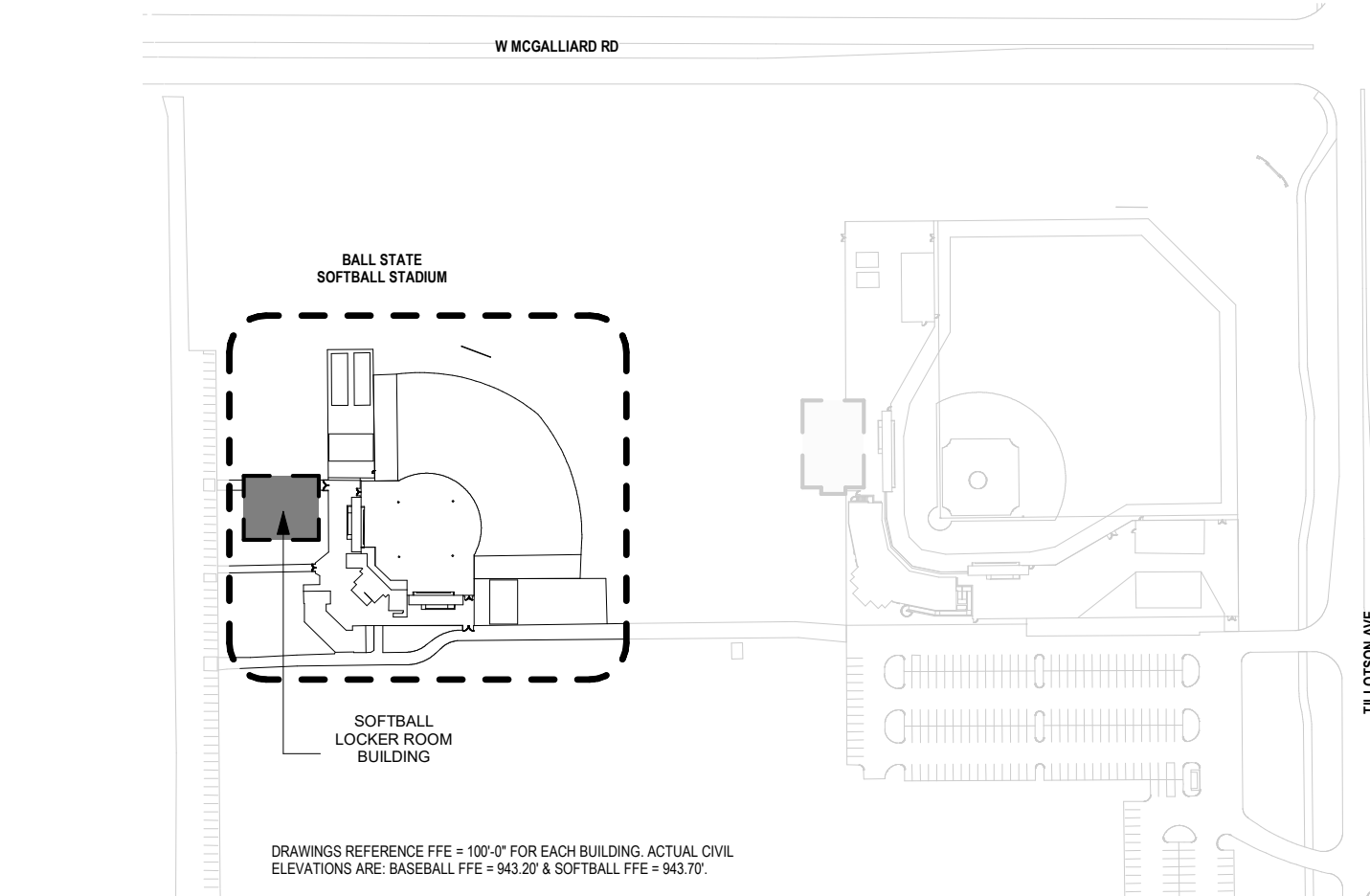


1 SOFTBALL BUILDING - BUILDING SECTION

A3.50S 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

- A. ALL DIMENSIONS THAT ARE +/- OR ± (PLUS OR MINUS) ARE TO BE DETERMINED EXACTLY BY FIELD MEASUREMENT.
B. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
C. ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS.
D. LARGE SCALE DETAILS, GOVERN OVER SMALL SCALE DETAILS.
E. IF CONTRACTOR SHOULD DISCOVER ANY UNFORSEEN PROBLEMS DURING THE REMOVAL OF ANY EXISTING CONSTRUCTION OR THE CONSTRUCTION OF ANY NEW WORK, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY AND THAT PARTICULAR WORK SHOULD BE DISCONTINUED UNTIL NECESSARY REVISIONS CAN BE DECIDED UPON.
F. ALL DOORS IN METAL STUD PARTITIONS TO BE LOCATED WITH OUTSIDE EDGE OF THE FRAME 4" FROM PERPENDICULAR WALL. ALL MASONRY OPENINGS CREATED FOR NEW DOORS TO BE LOCATED 8" FROM PERPENDICULAR WALL. TYPICAL UNLESS NOTED OTHERWISE.
G. ALL INTERIOR WALLS GO TO ROOF DECK, UNLESS NOTED OTHERWISE.
H. WHEN INFILLING AN OPENING WITHIN A MASONRY WALL, TOOTH-IN MASONRY TO MATCH EXISTING COURSING, UNLESS NOTED OTHERWISE.
I. ALL INTERIOR DIMENSIONS ARE TO FACE OF SHEATHING AND/OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
J. COORDINATE FINAL PARTITION LOCATIONS WITH FURRING AT STRUCTURAL ELEMENTS.
K. COORDINATE INTERIOR CONCRETE SLAB ON GRADE CONTROL JOINT PATTERN AT ALL HARD-TILED SURFACE AREAS WITH ARCHITECT.
L. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF EXTERIOR SHEATHING, AND/OR FACE OF EXTERIOR MASONRY.
M. PROVIDE 1/2" RADIUS BULLNOSE CMU UNITS AT ALL EXPOSED OUTSIDE CORNERS, TYPICAL UNLESS NOTED OTHERWISE.
N. PAINT ALL EXPOSED EXTERIOR LINTELS TO MATCH THE BRICK MASONRY.



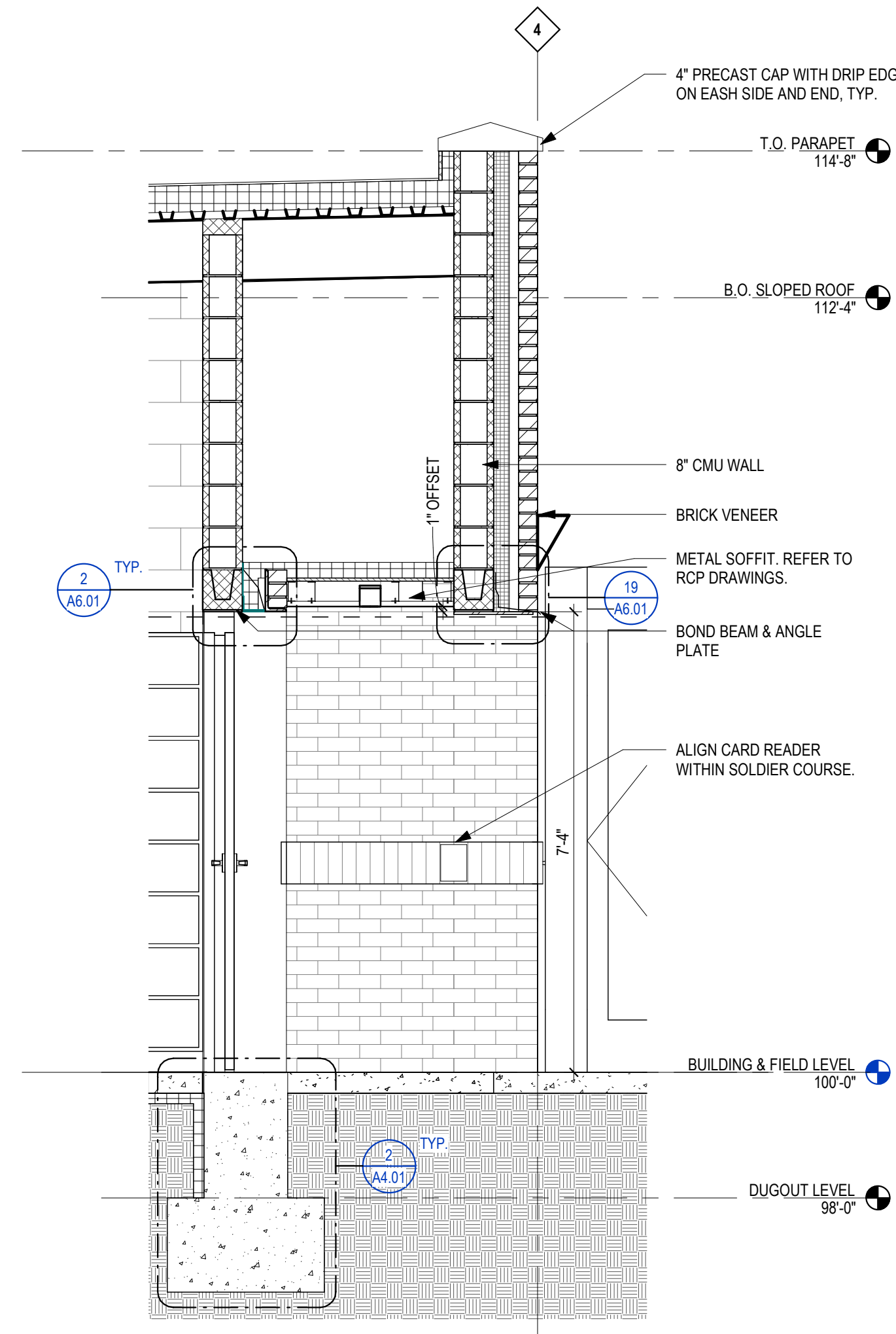
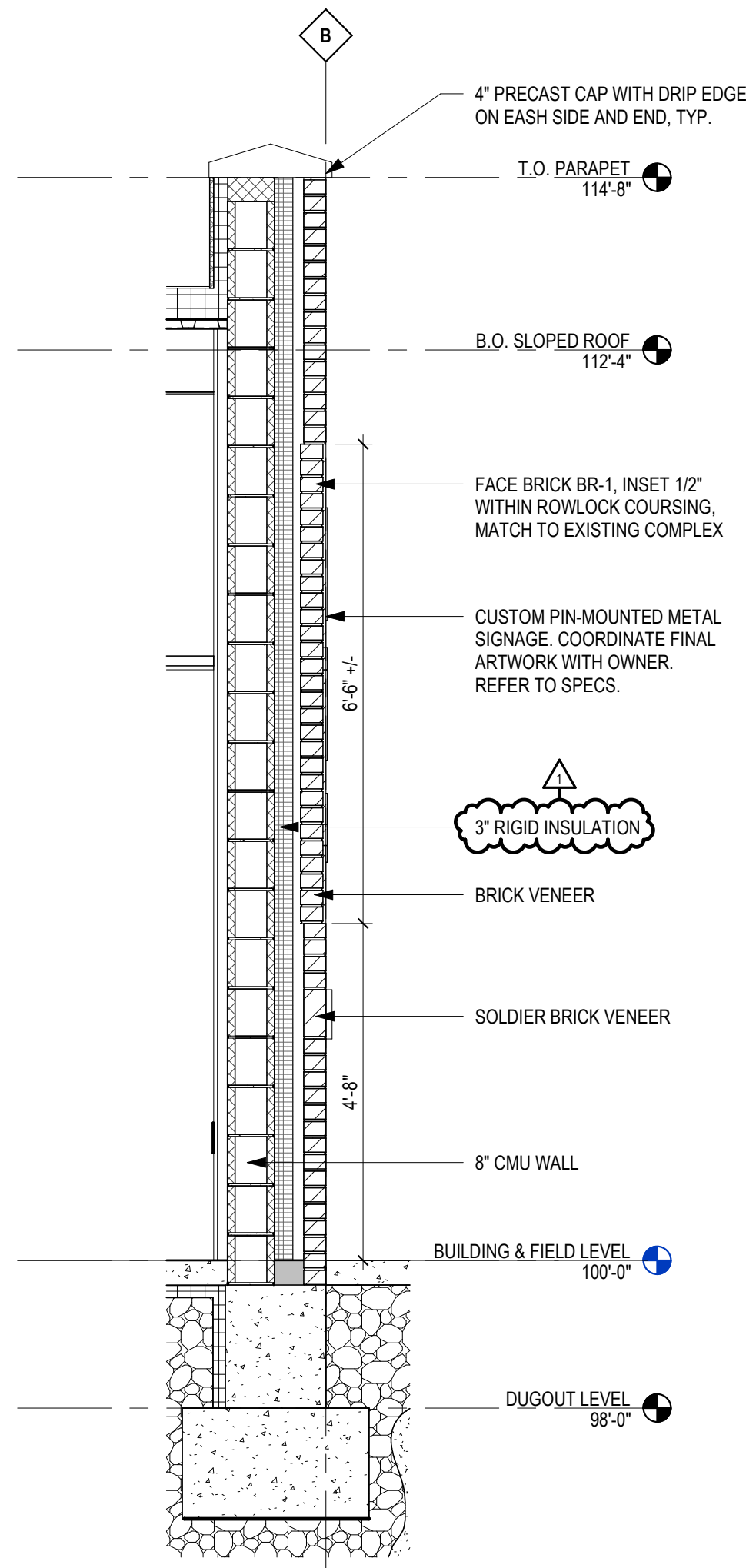
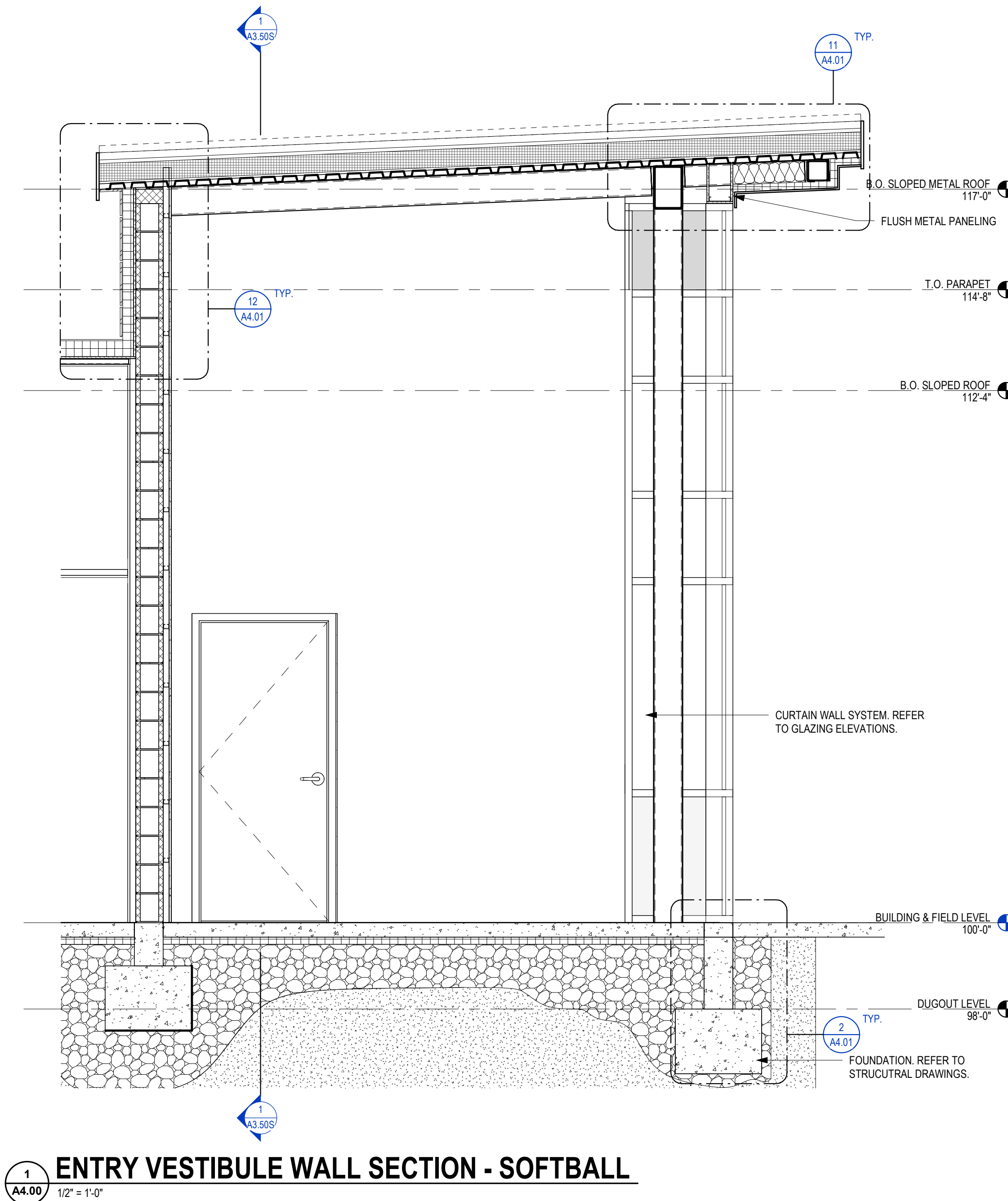
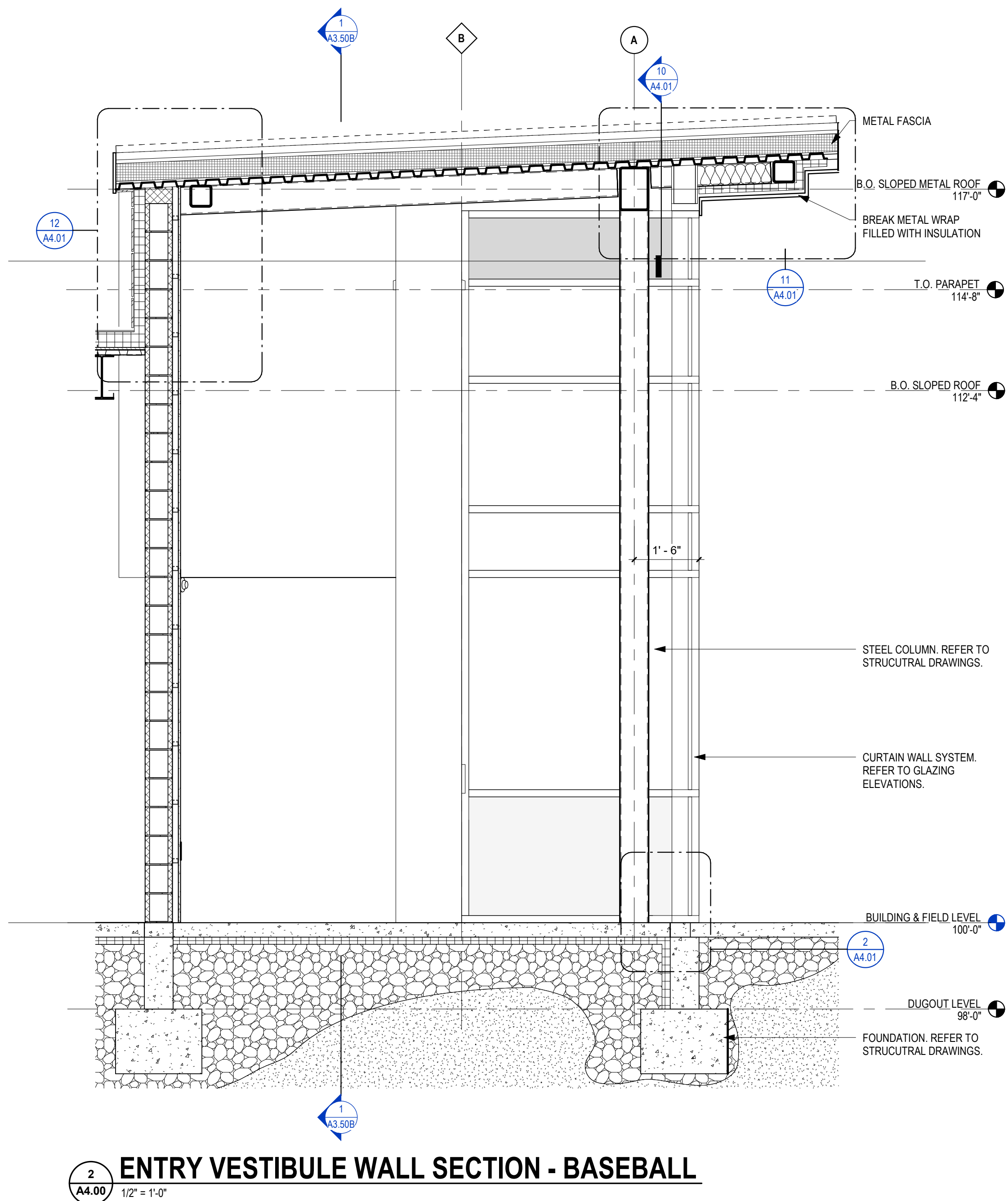
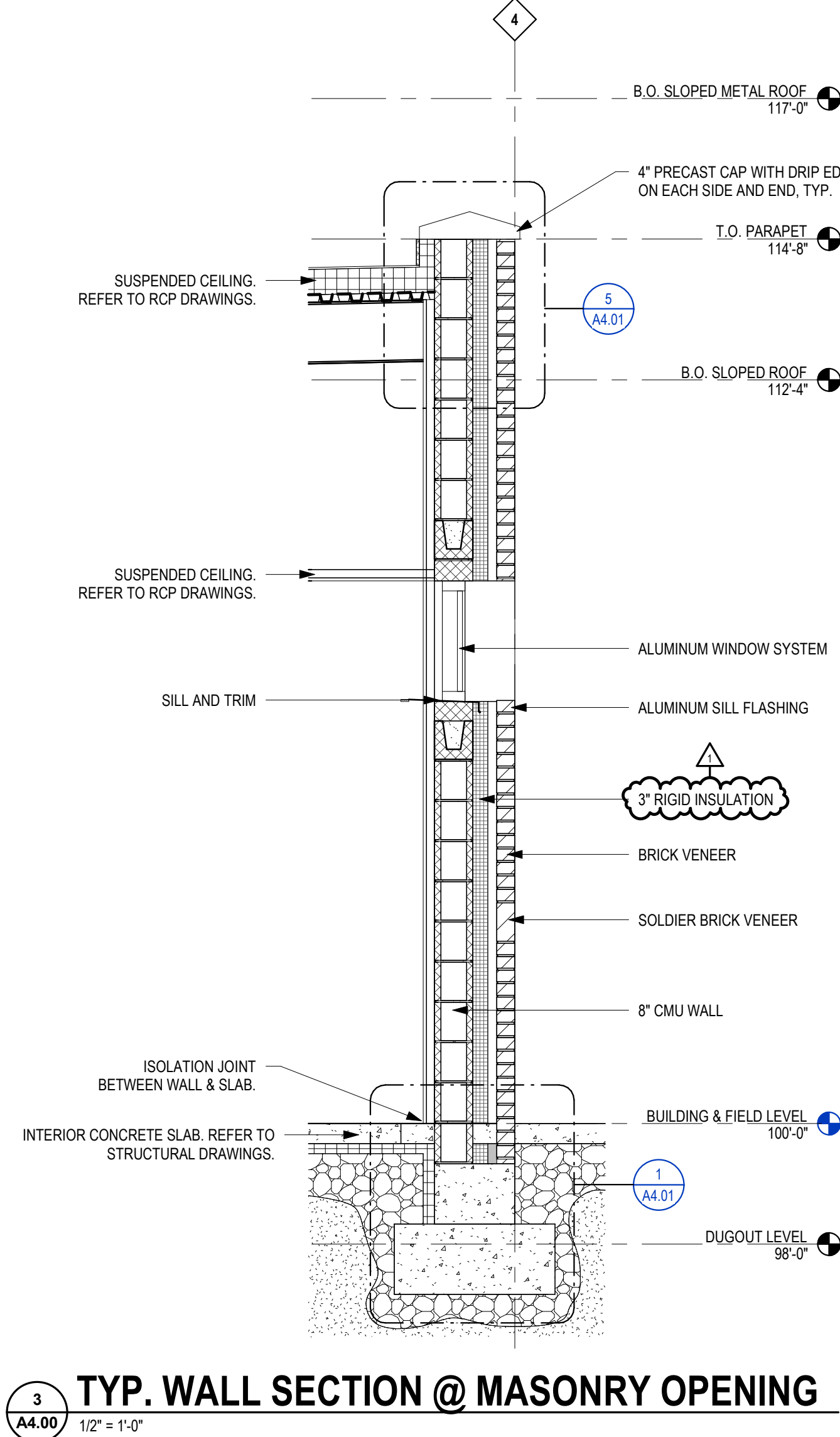
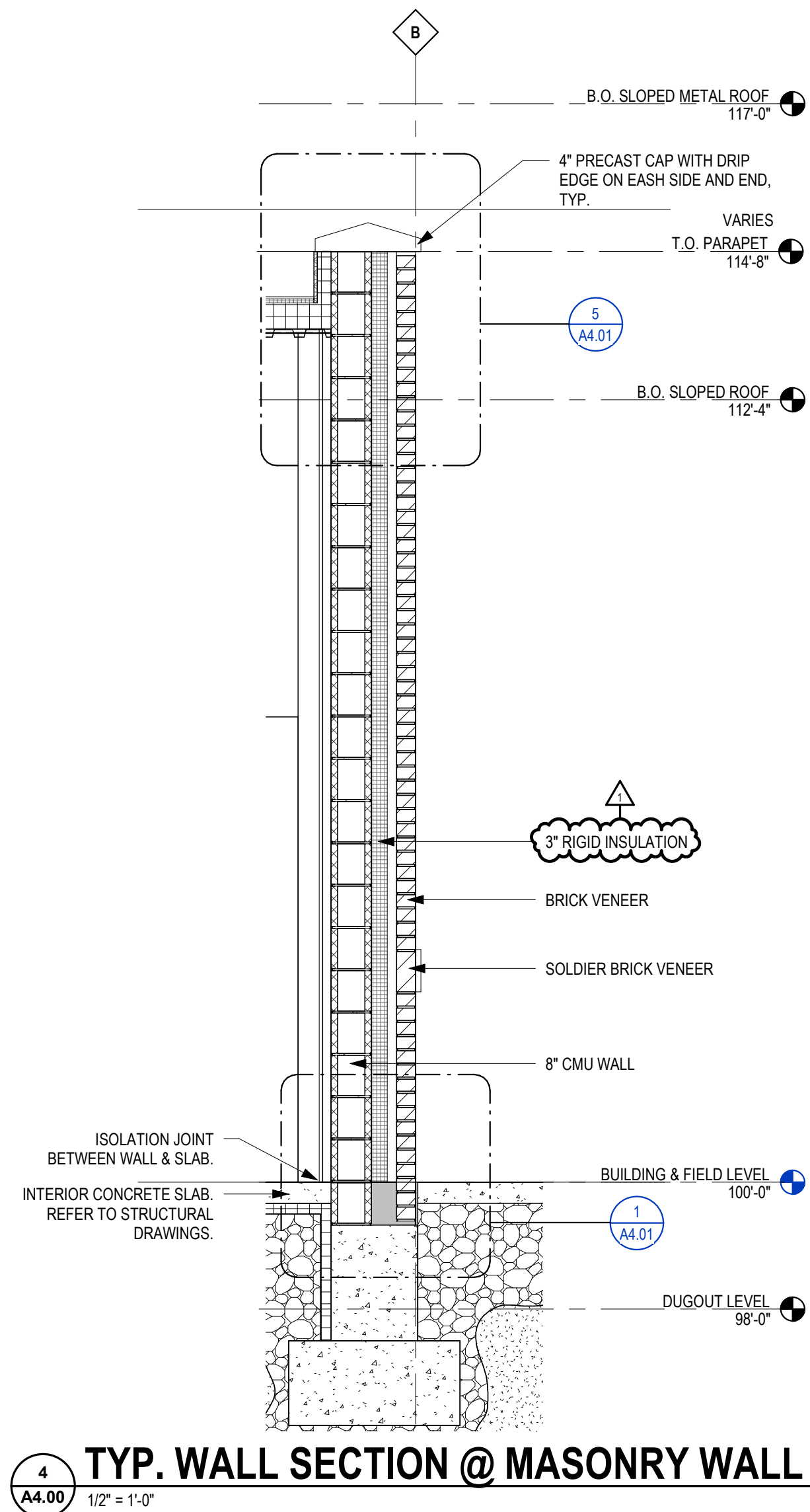
KEY PLAN - SOFTBALL COMPLEX

1" = 200'-0"

NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BU/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

DRAWING TITLE:
BUILDING SECTIONS
- SOFTBALL
BUILDING



BASEBALL & SOFTBALL LOCKER ROOM BUILDINGS

BALL STATE UNIVERSITY

3200 N TILLOTSON AVE, MUNCIE, IN 47306

This drawing and the design concepts represented, as instruments of service, are the sole property of MSA DESIGN, and may not be used, reproduced, or copied in whole or part, for any purpose without the written authorization of MSA DESIGN.
Copyright MSA DESIGN
MSA DESIGN All Rights Reserved
MSA SPORT is a division of MSA DESIGN

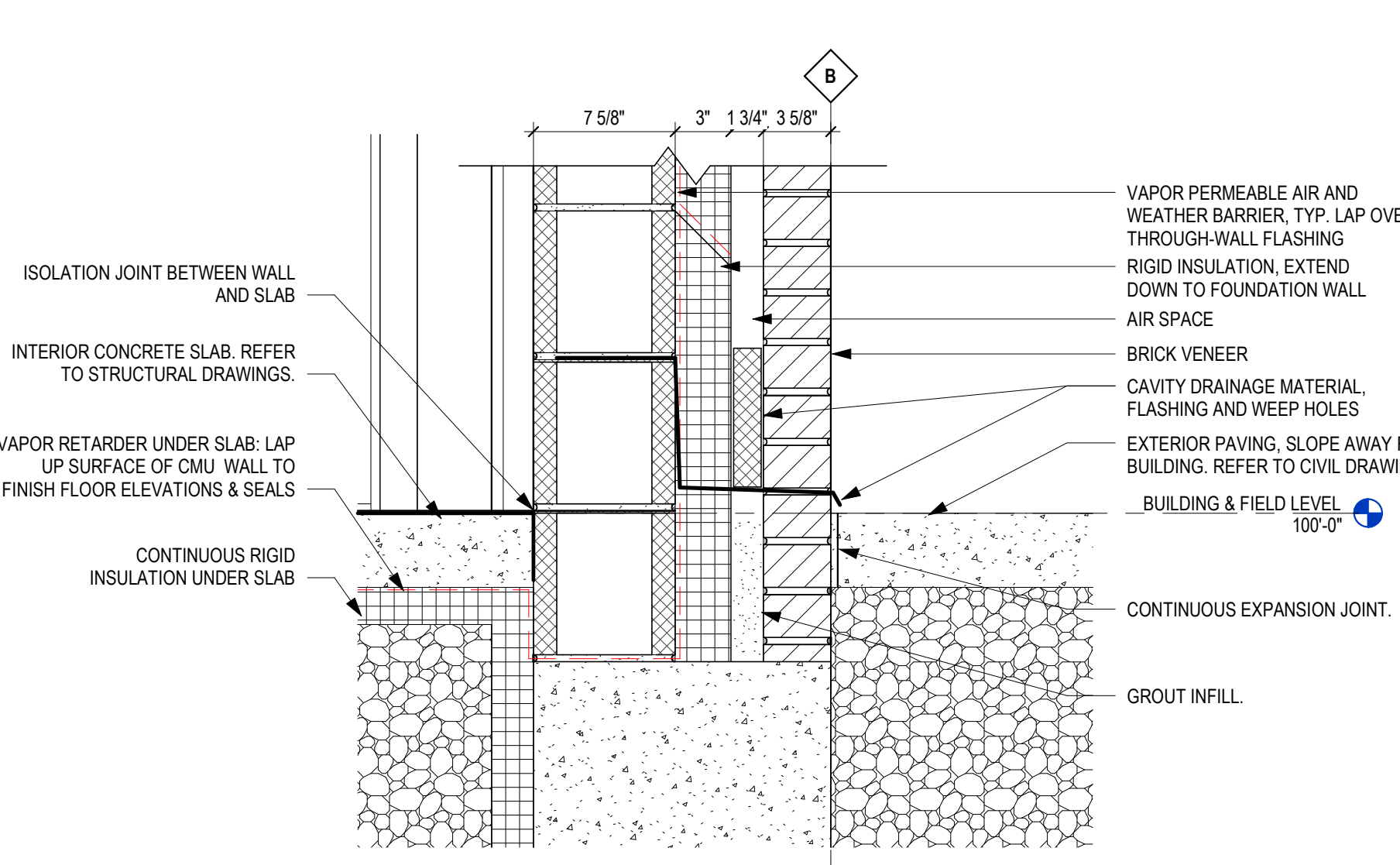
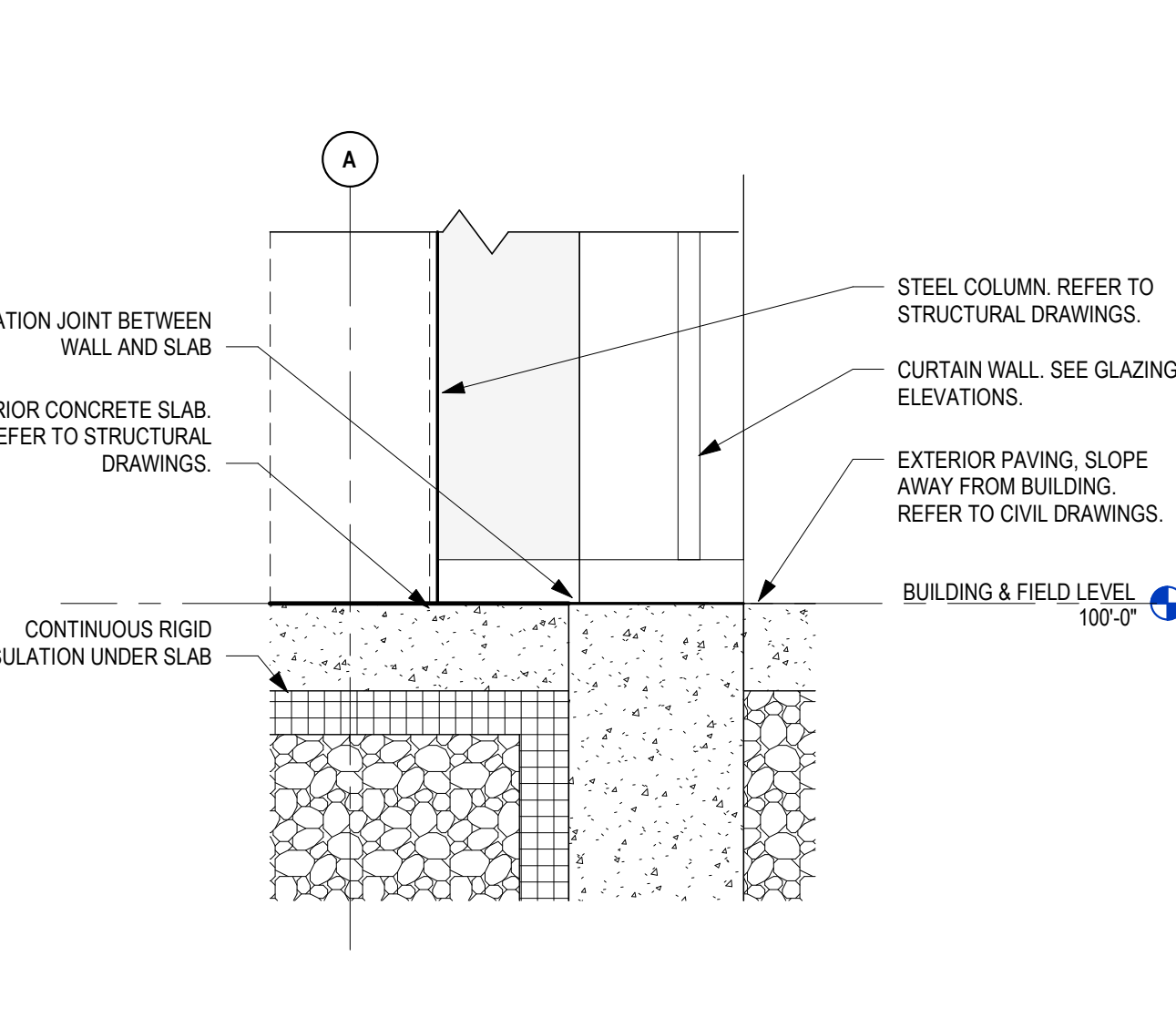
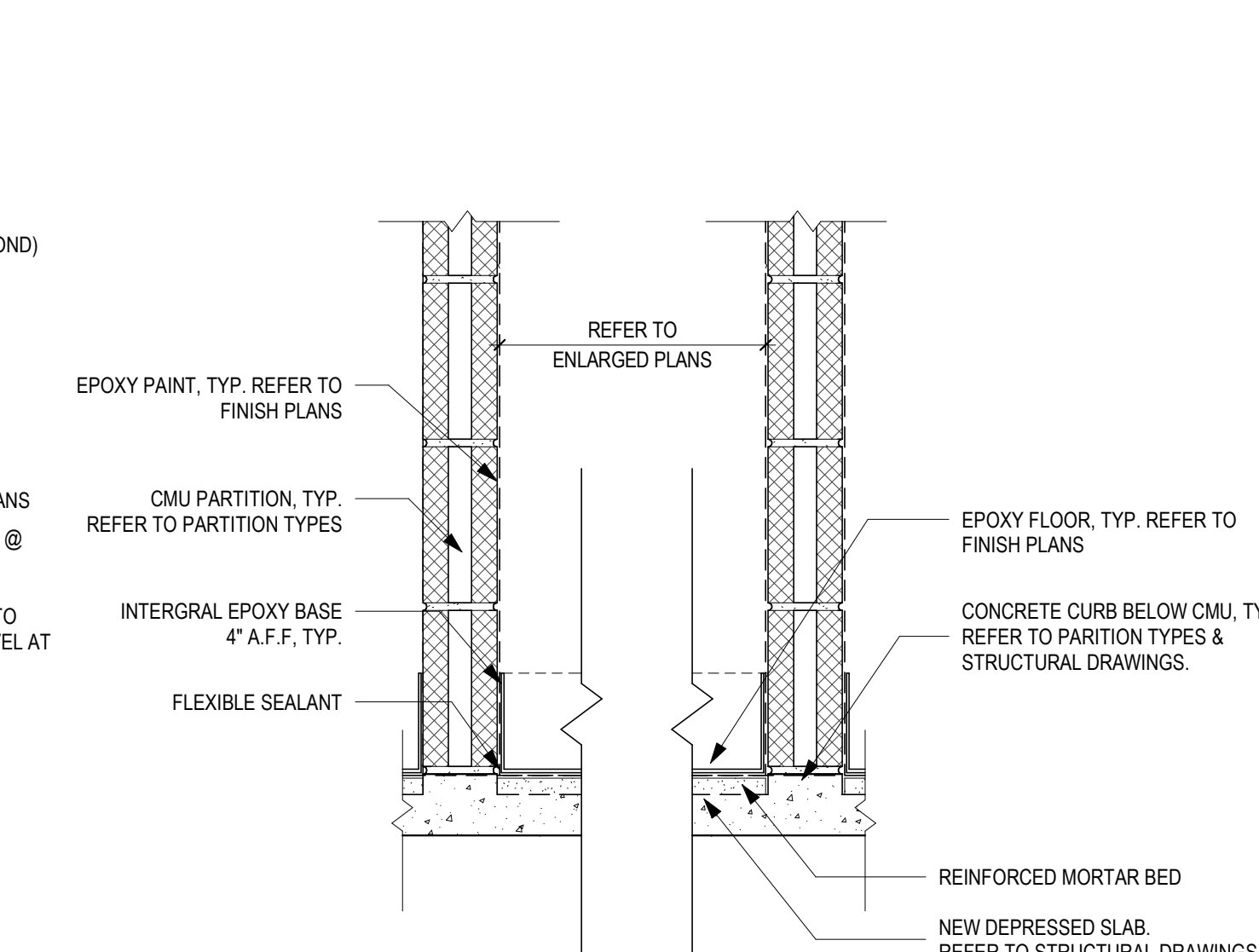
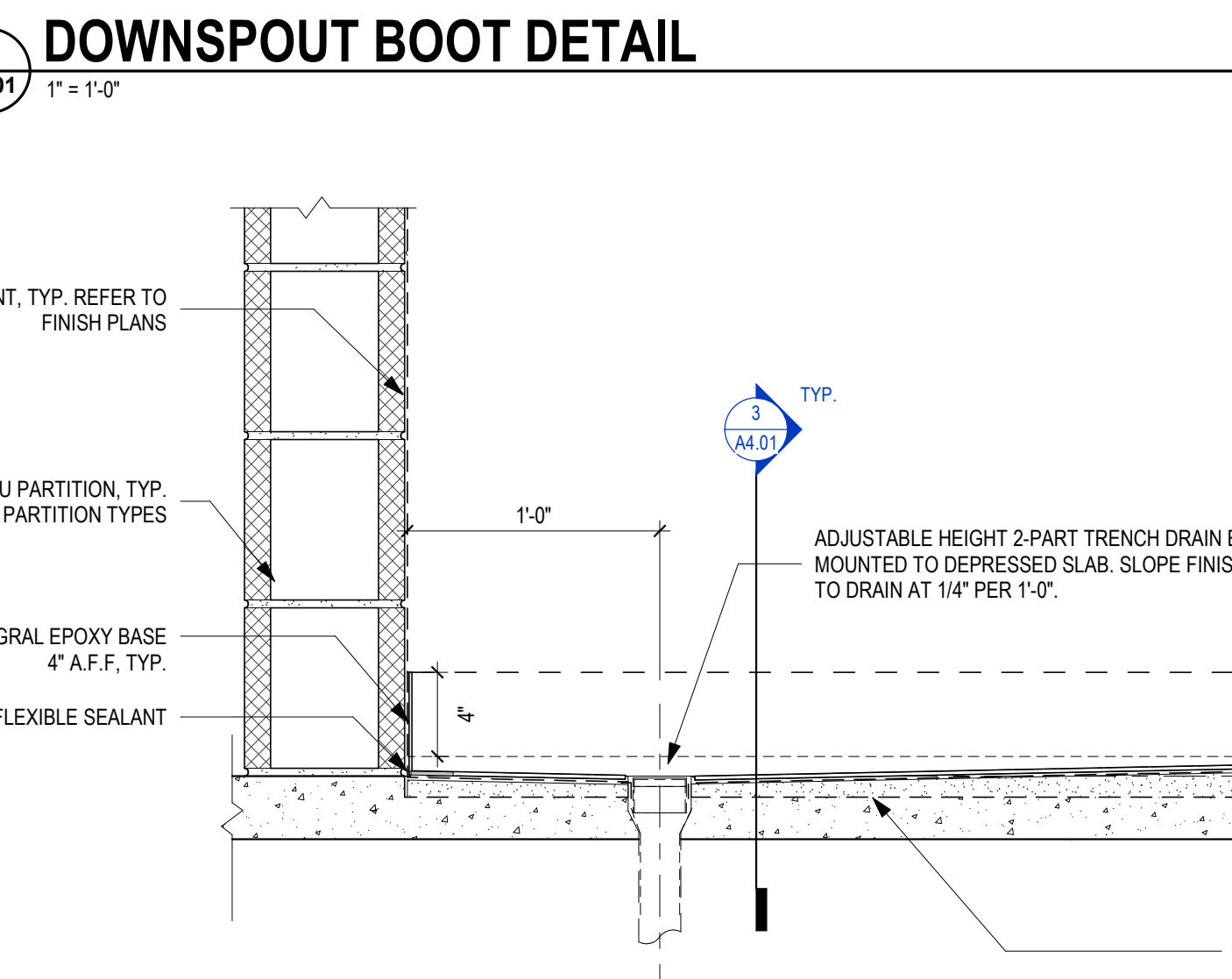
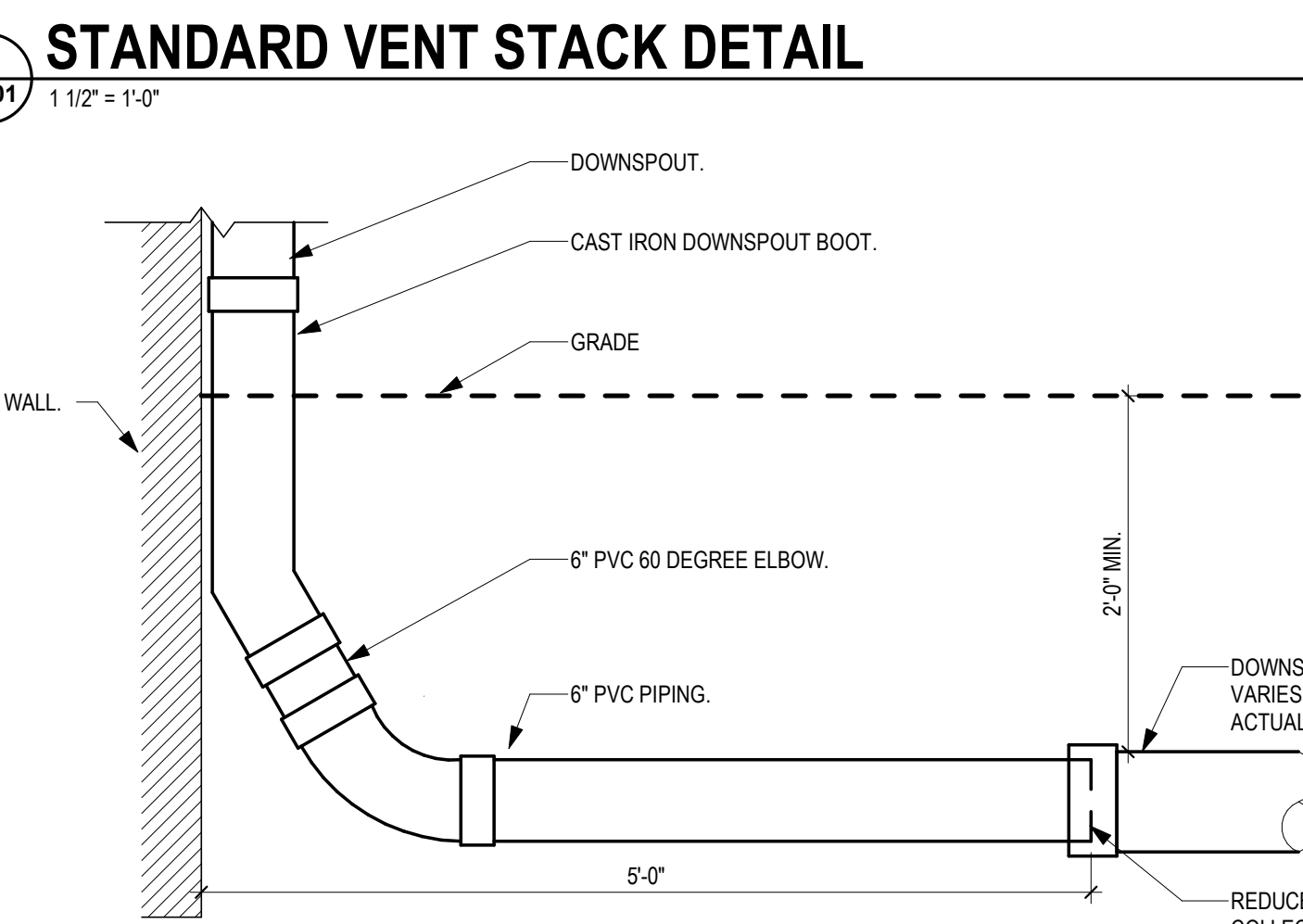
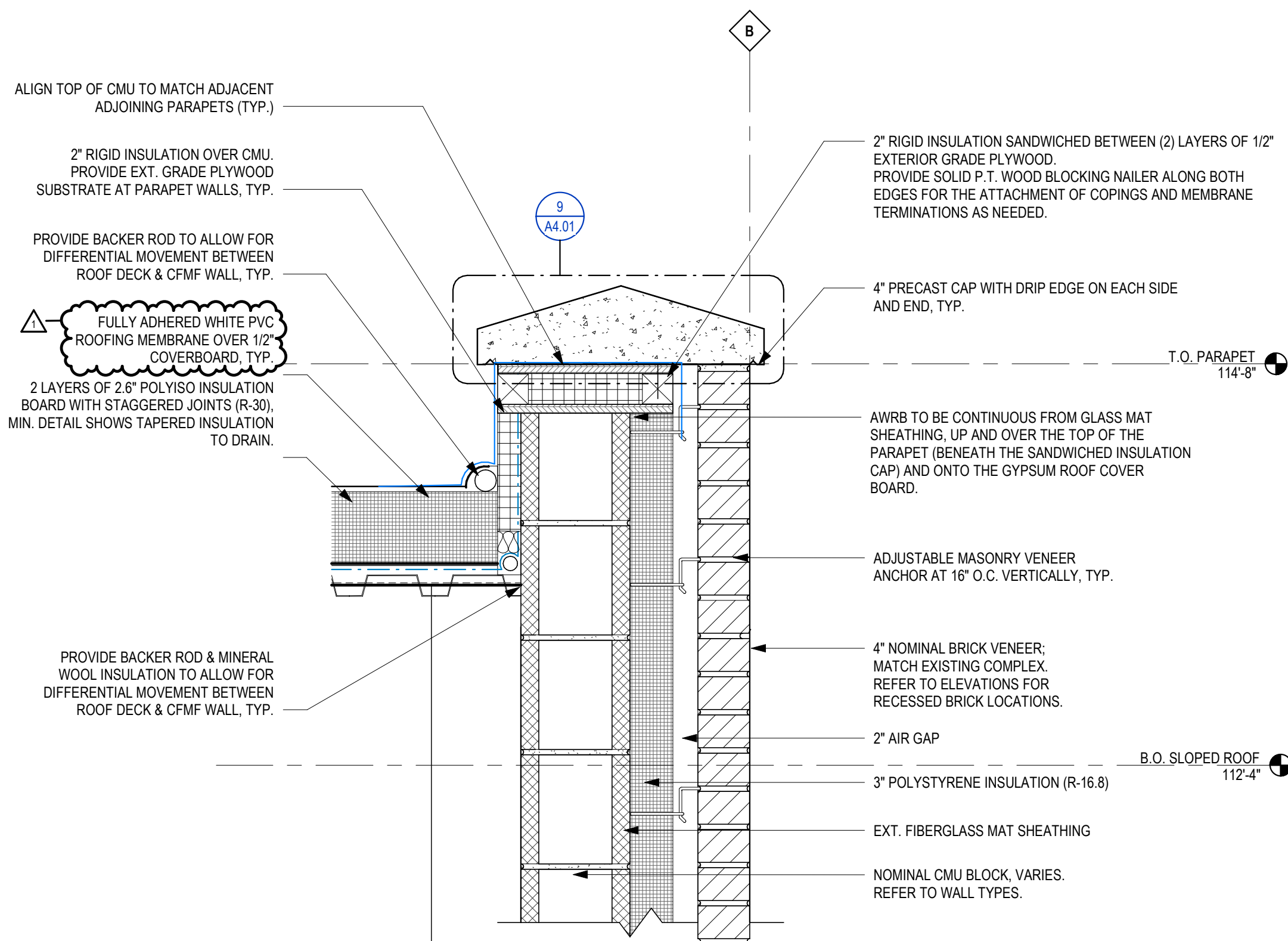
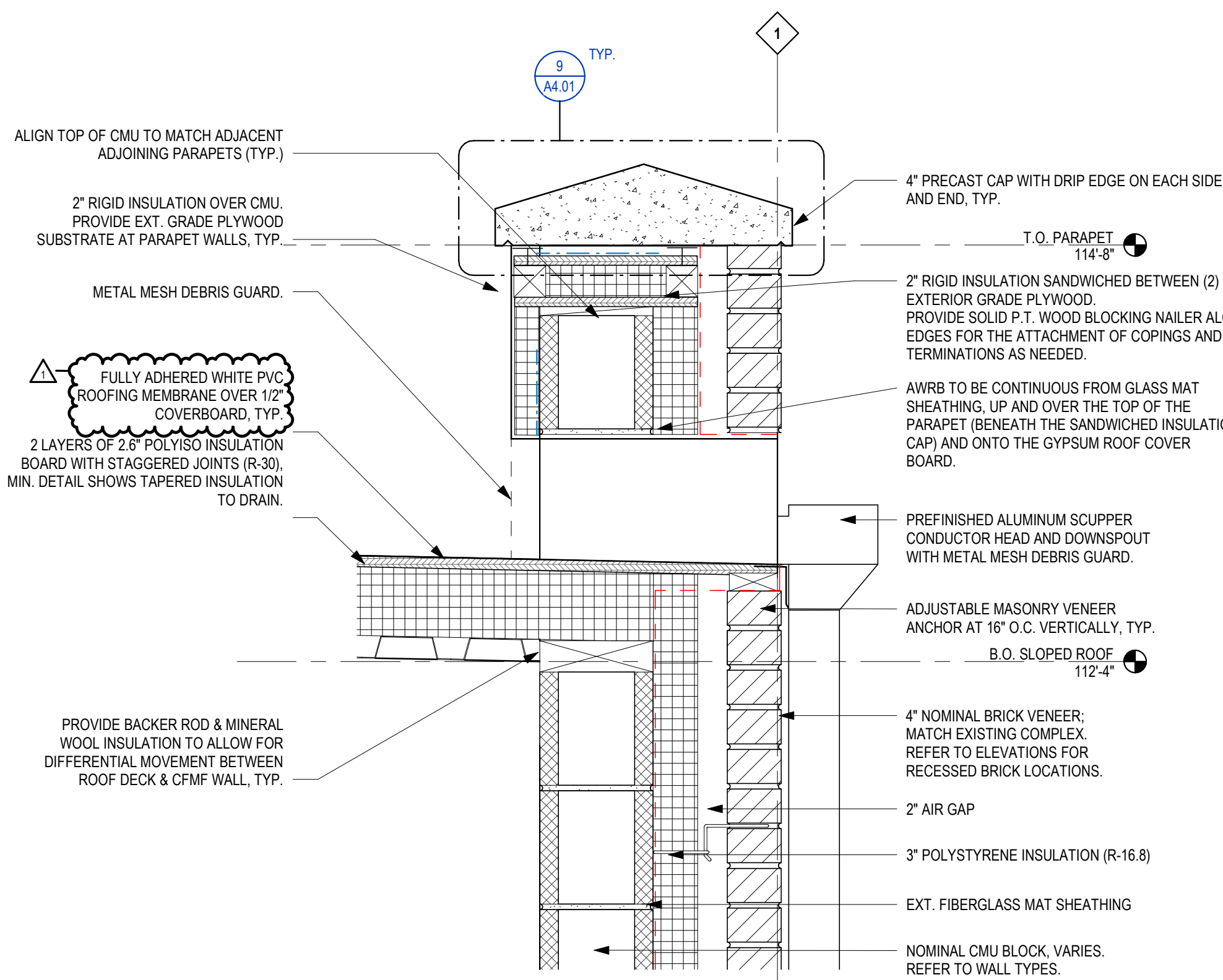
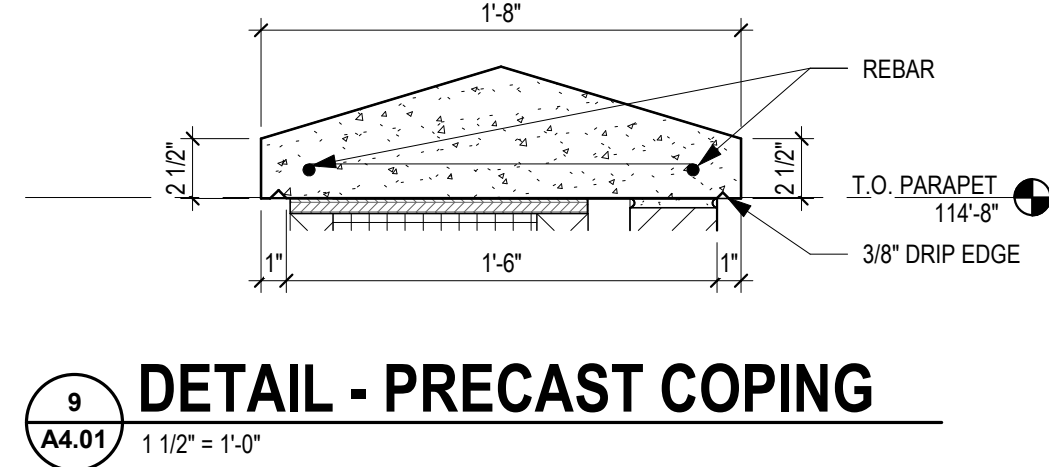
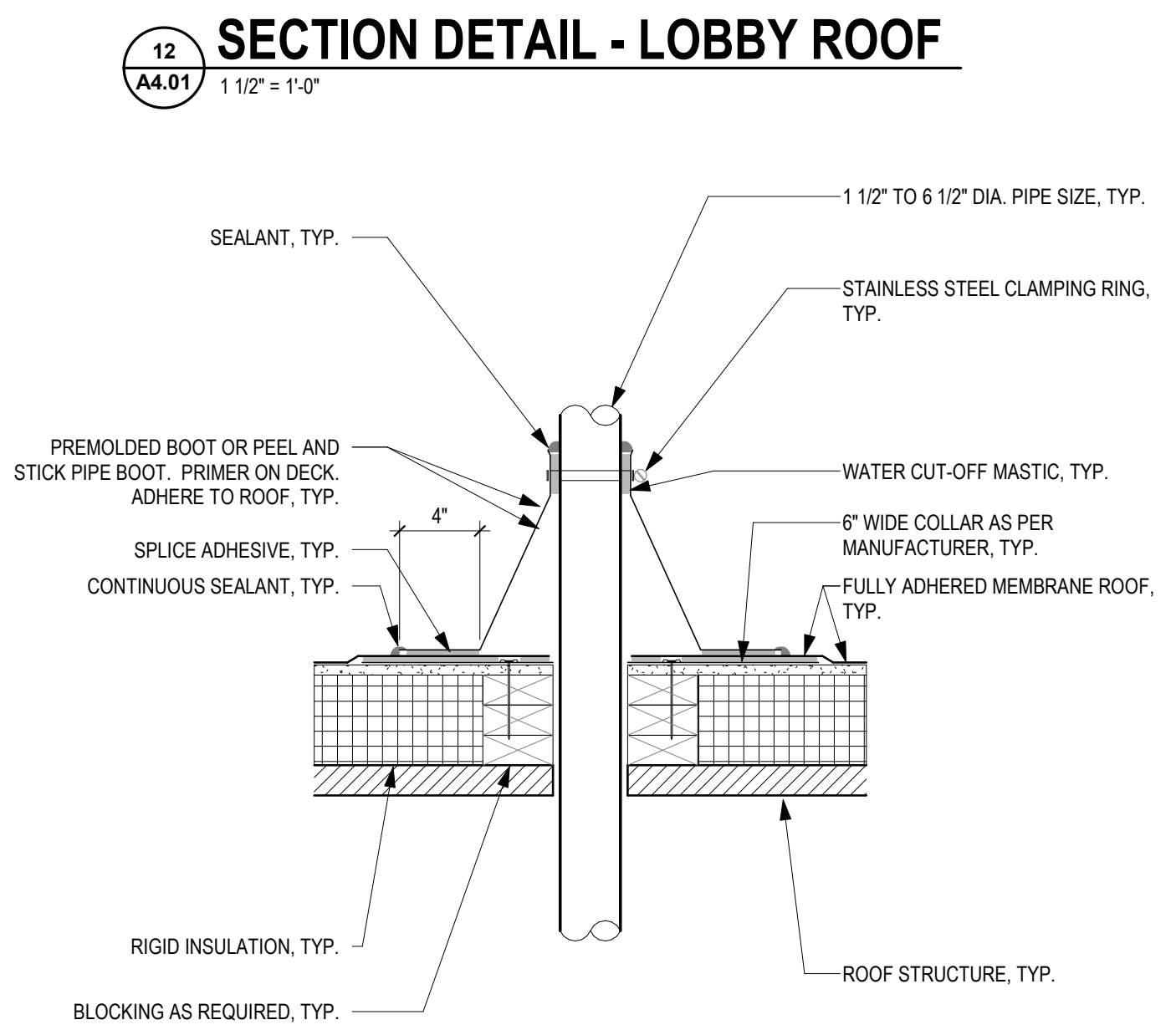
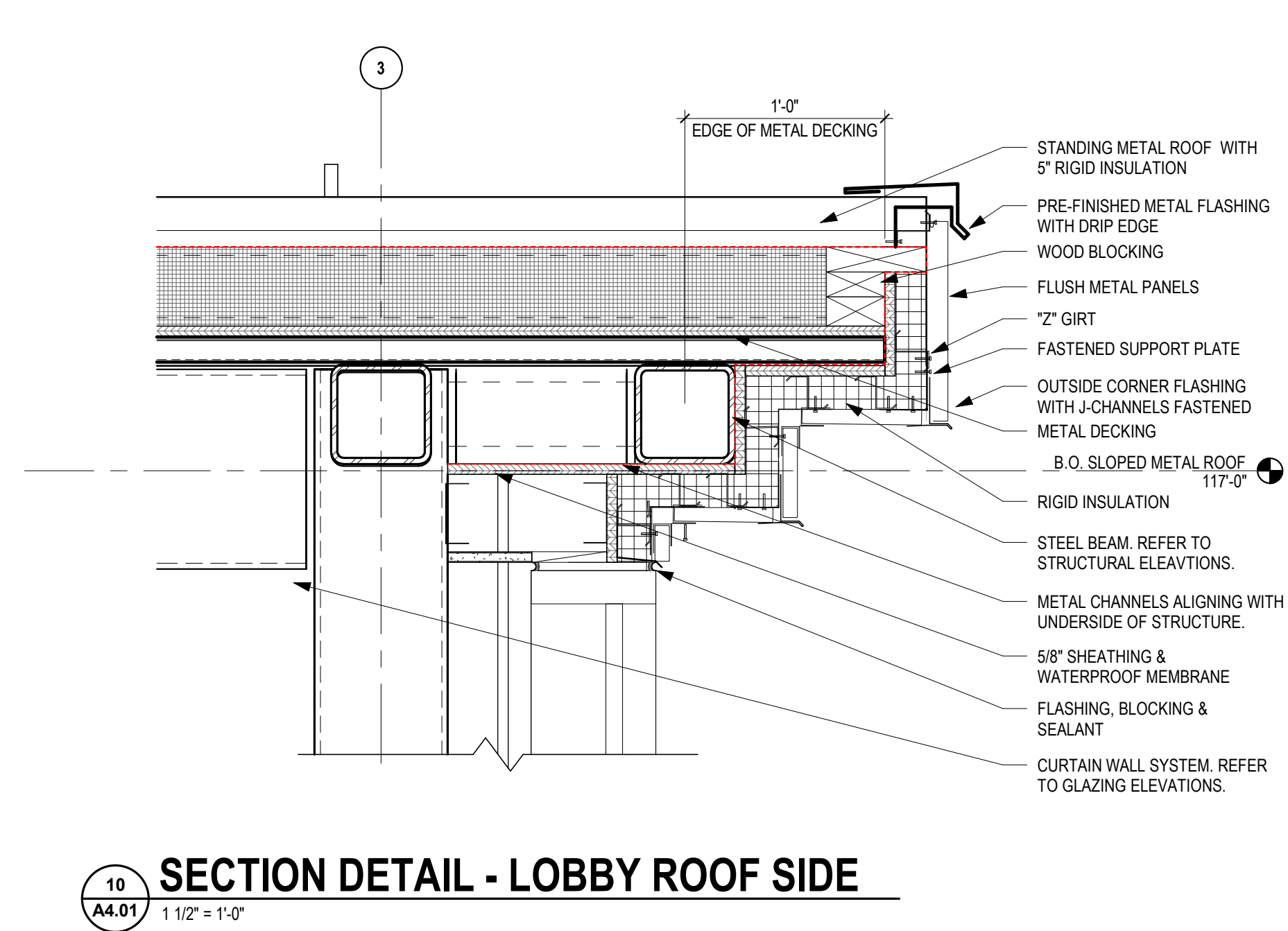
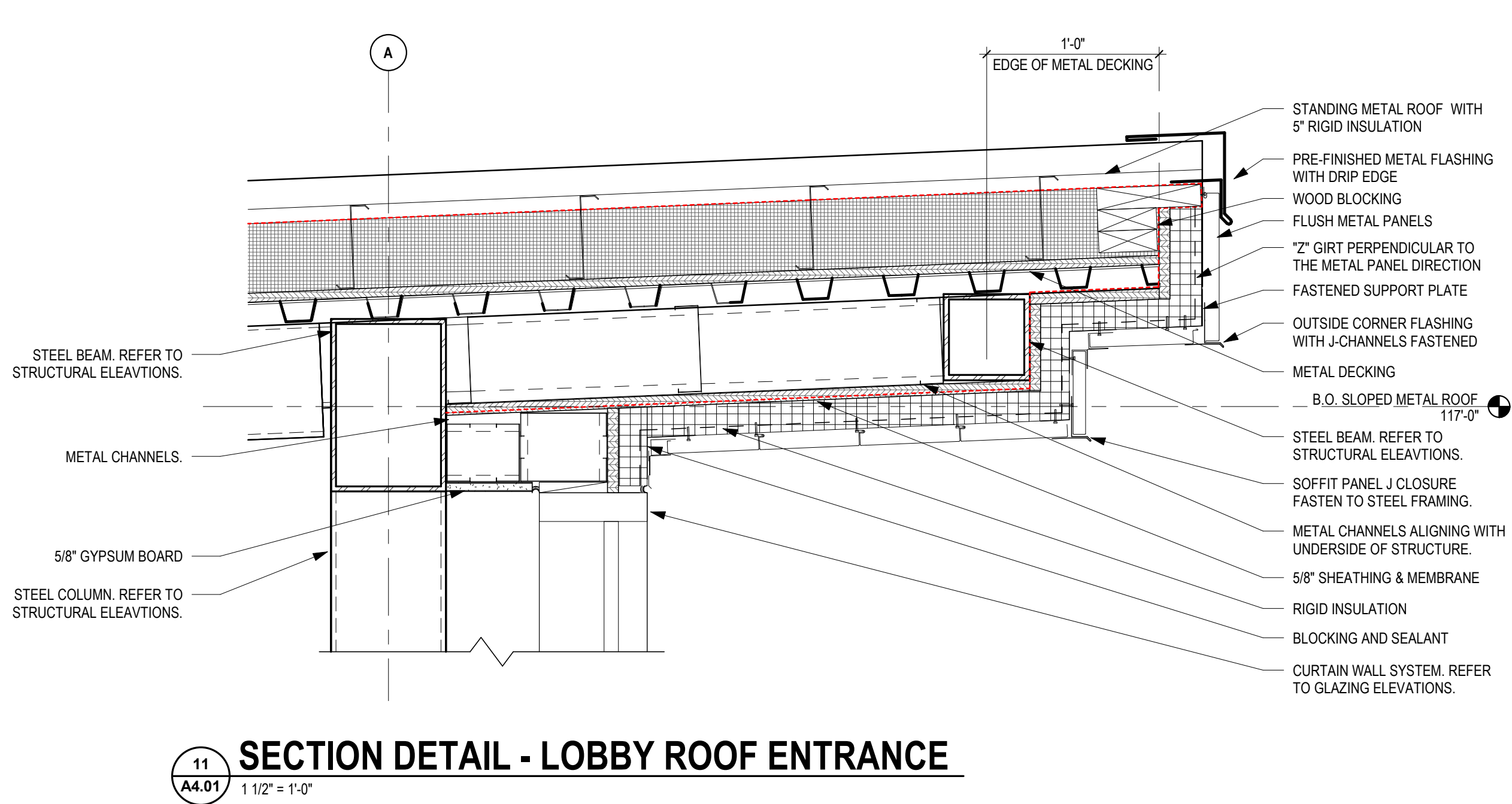
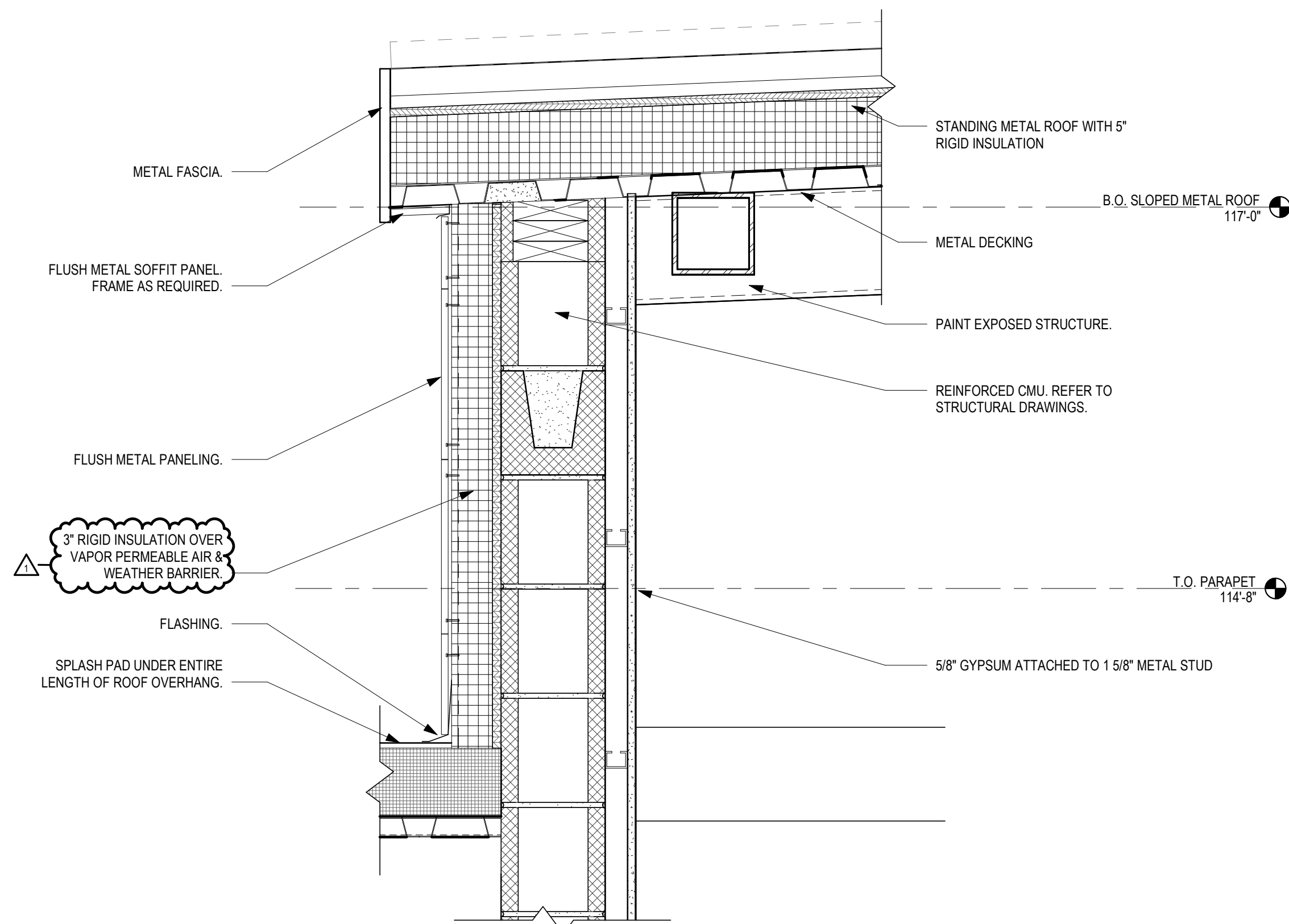
NO.	DATE	ISSUED / REVISION
B	06/27/2025	DD SET
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

DRAWING TITLE:
WALL SECTIONS

**DRAWINGS REFERENCE FFE = 100'-0" FOR EACH BUILDING. ACTUAL CIVIL ELEVATIONS ARE: BASEBALL FFE = 943.20' & SOFTBALL FFE = 943.70'.

A4.00

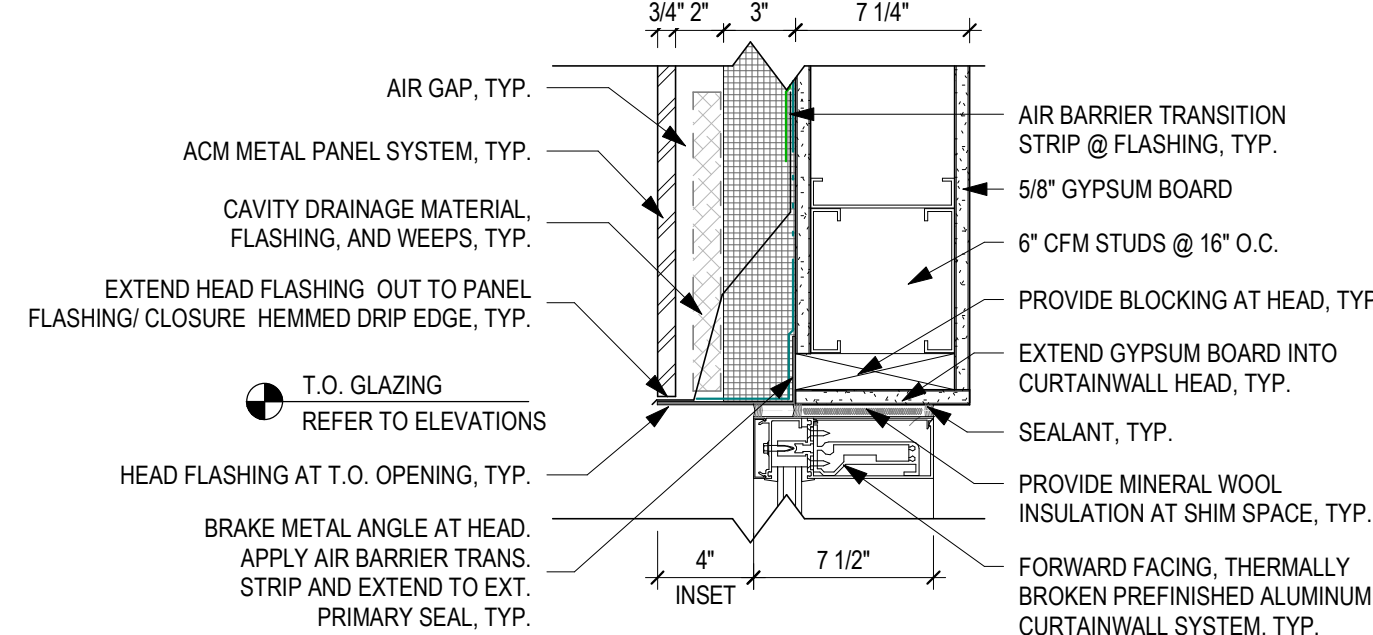
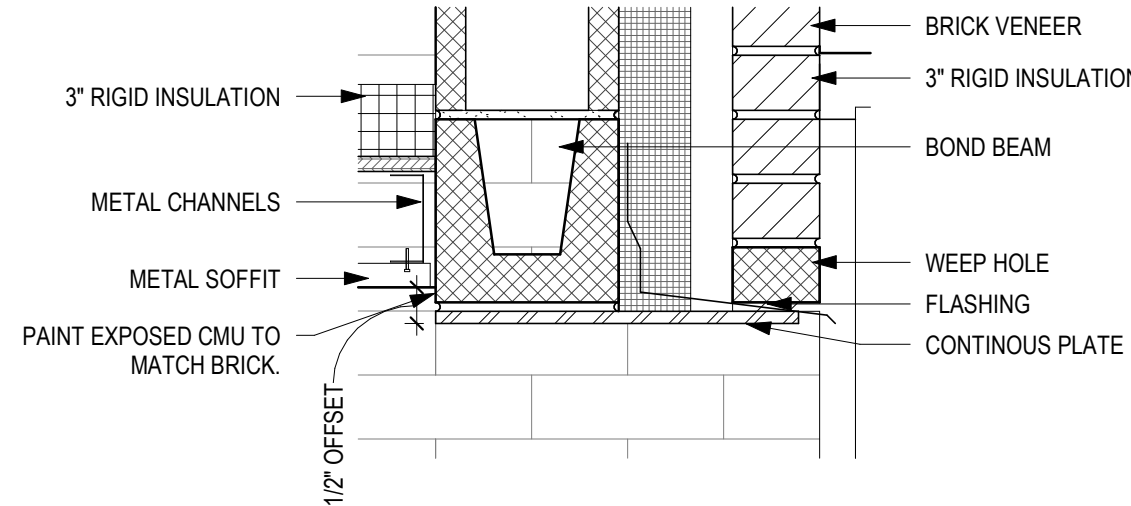
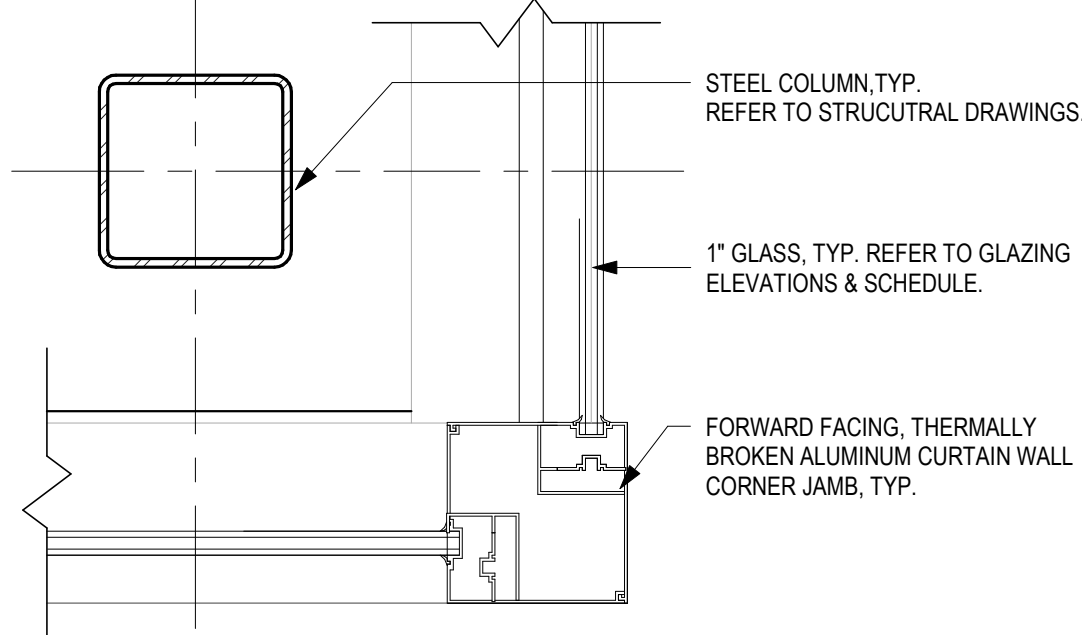
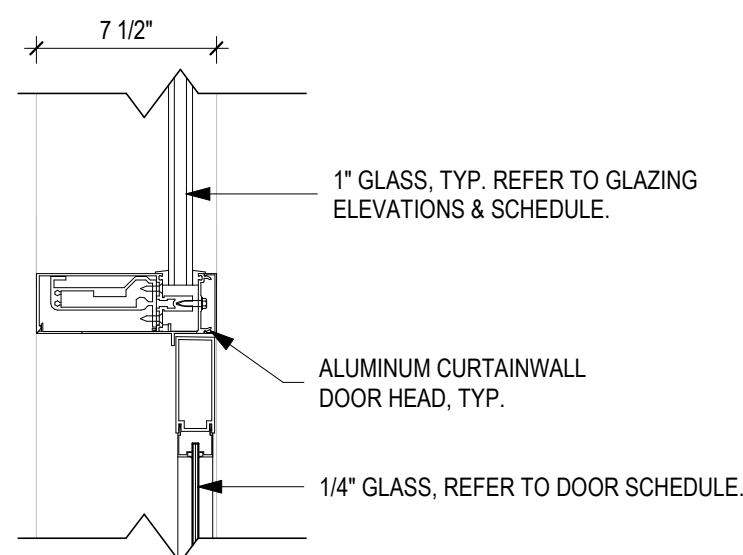


DRAWINGS REFERENCE FFE = 100'-0" FOR EACH BUILDING. ACTUAL CIVIL ELEVATIONS ARE: BASEBALL FFE = 943.20' & SOFTBALL FFE = 943.70'.

NO.	DATE	ISSUED / REVISION
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

DRAWING TITLE:
SECTION DETAILS

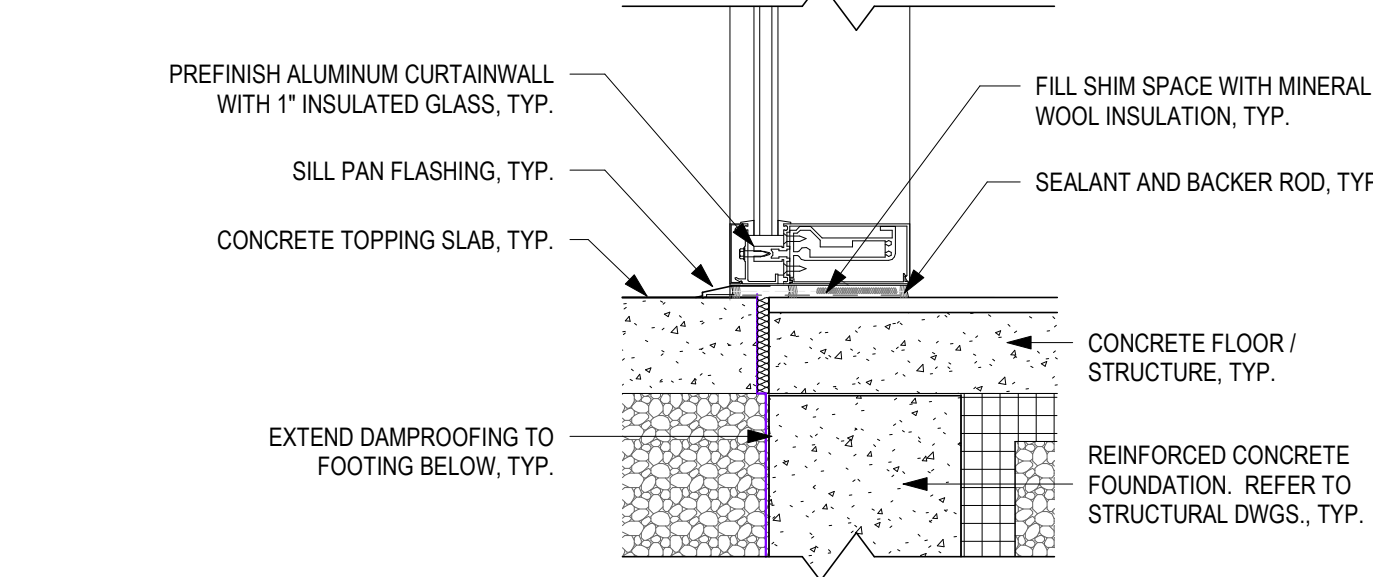
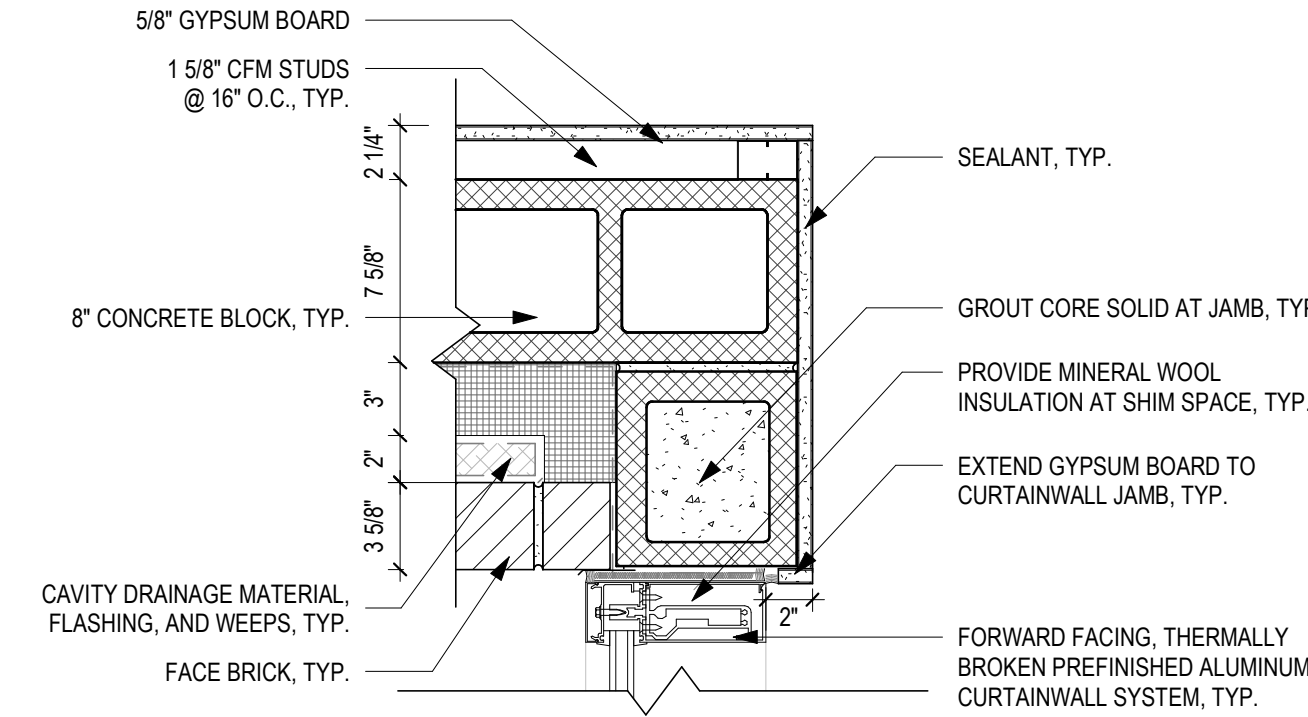
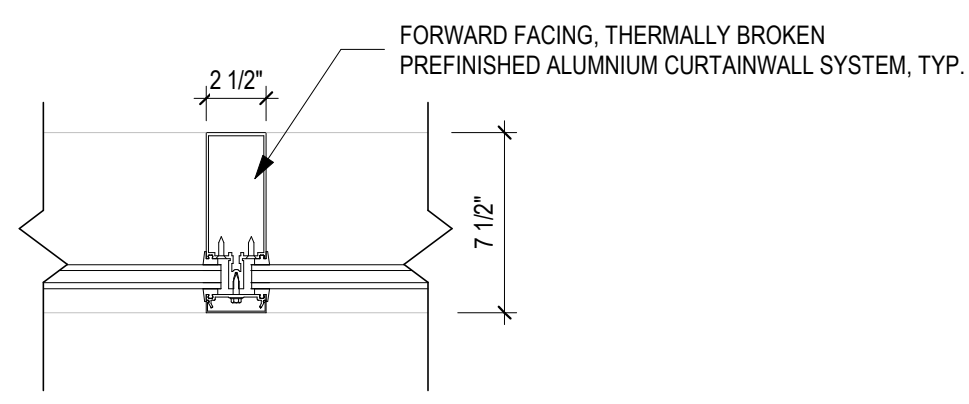
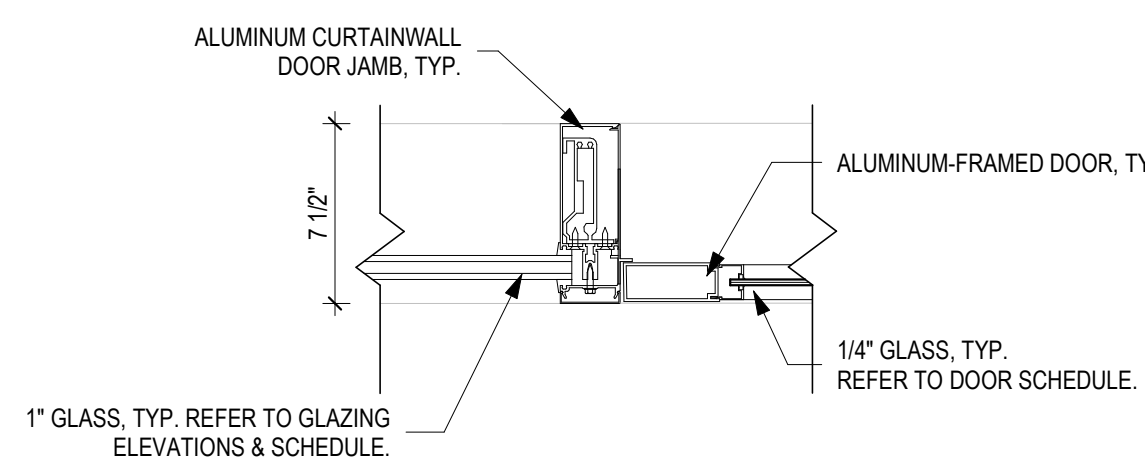


21
A6.01
1 1/2" = 1'-0"

20
A6.01
1 1/2" = 1'-0"

19
A6.01
1 1/2" = 1'-0"

18
A6.01
1 1/2" = 1'-0"

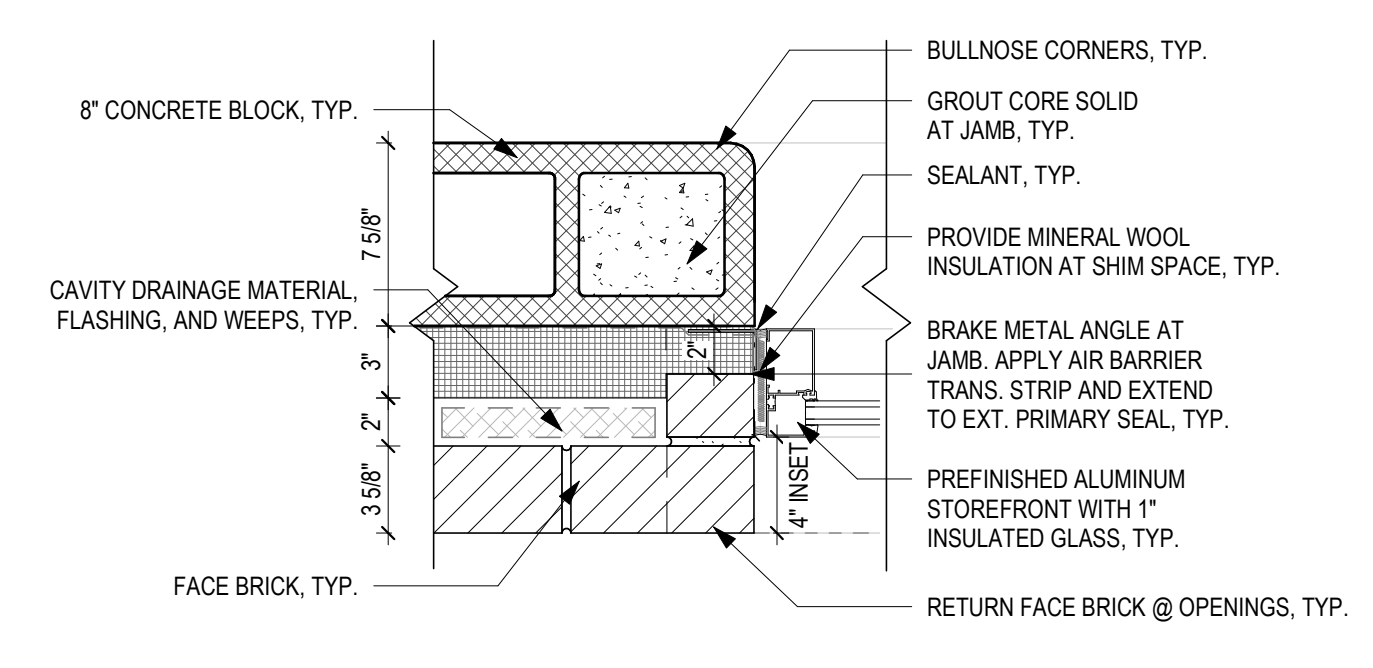
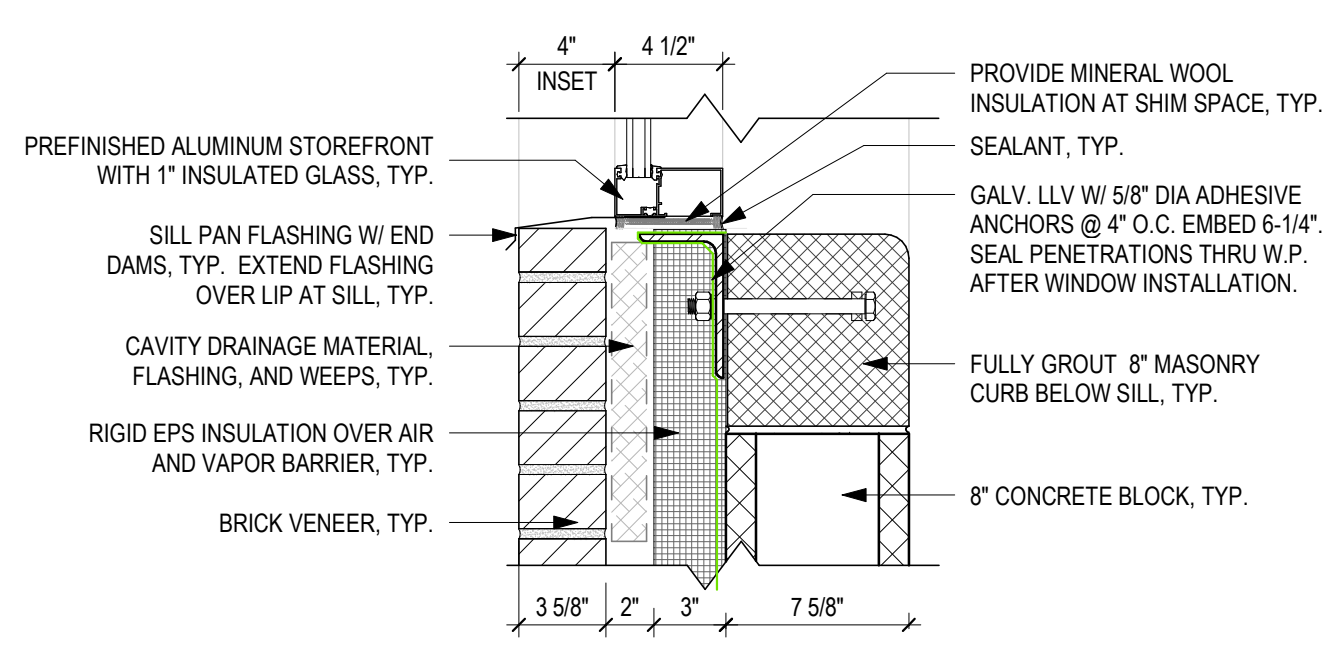
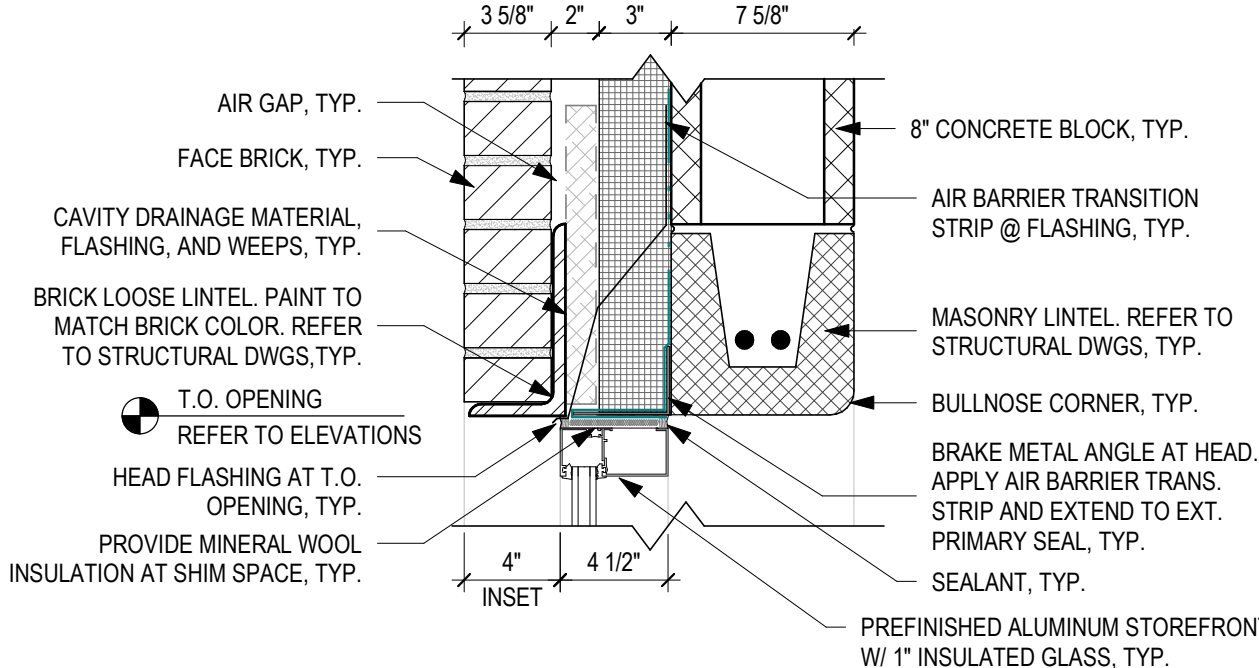


17
A6.01
1 1/2" = 1'-0"

16
A6.01
1 1/2" = 1'-0"

15
A6.01
1 1/2" = 1'-0"

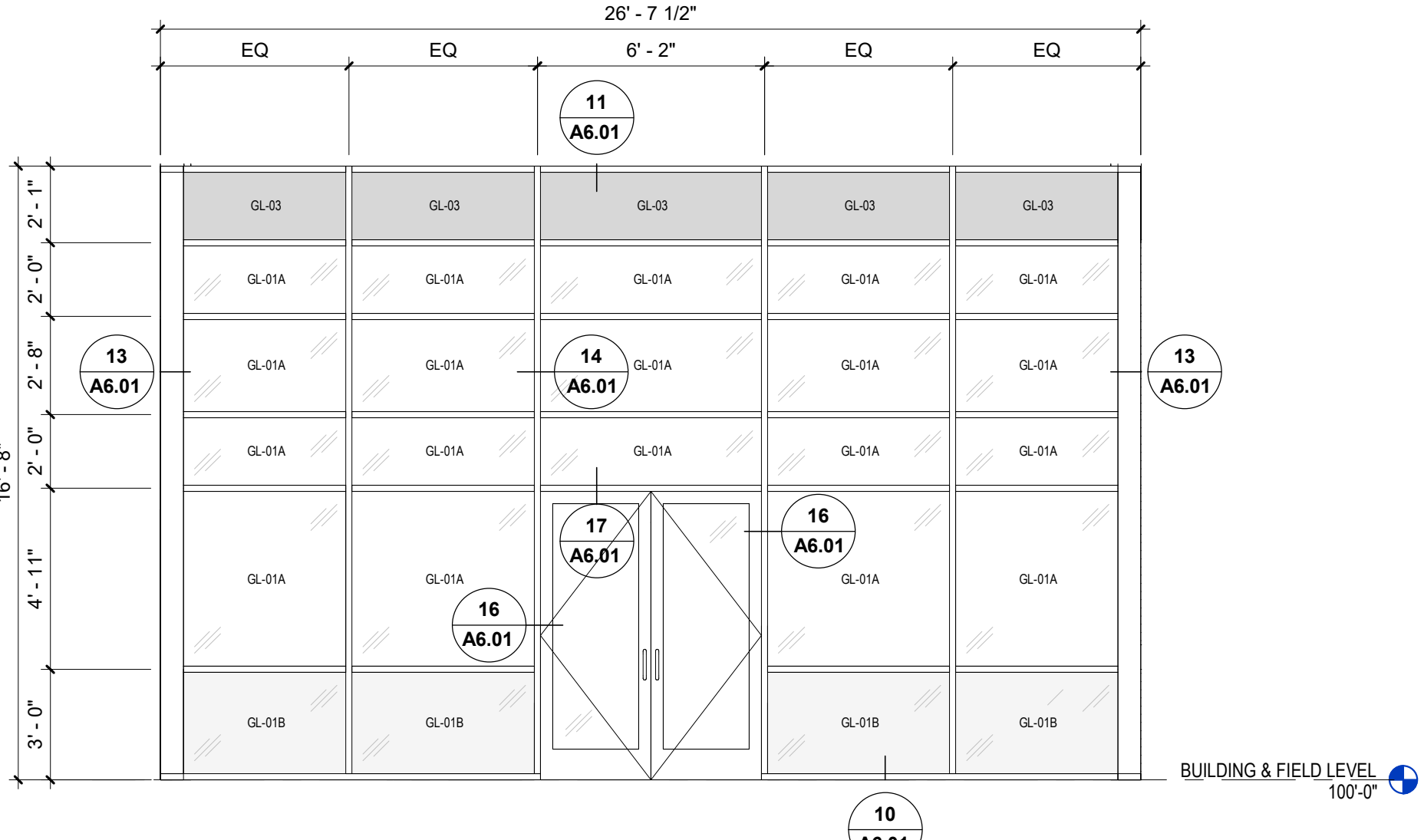
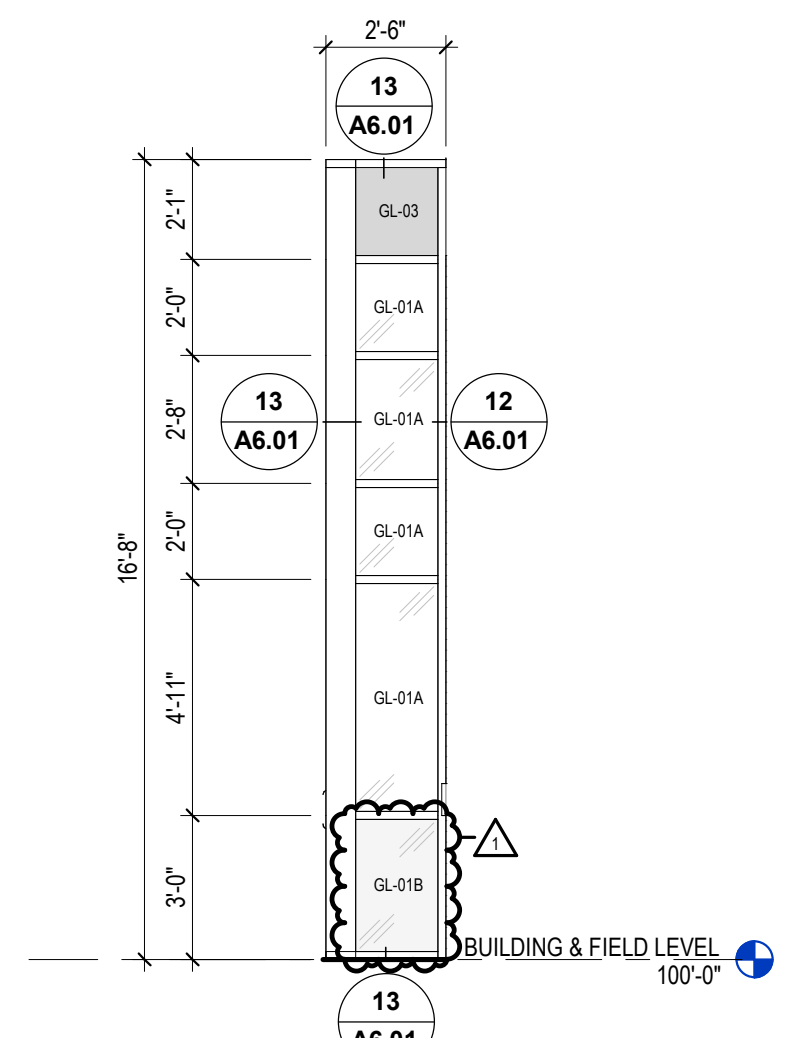
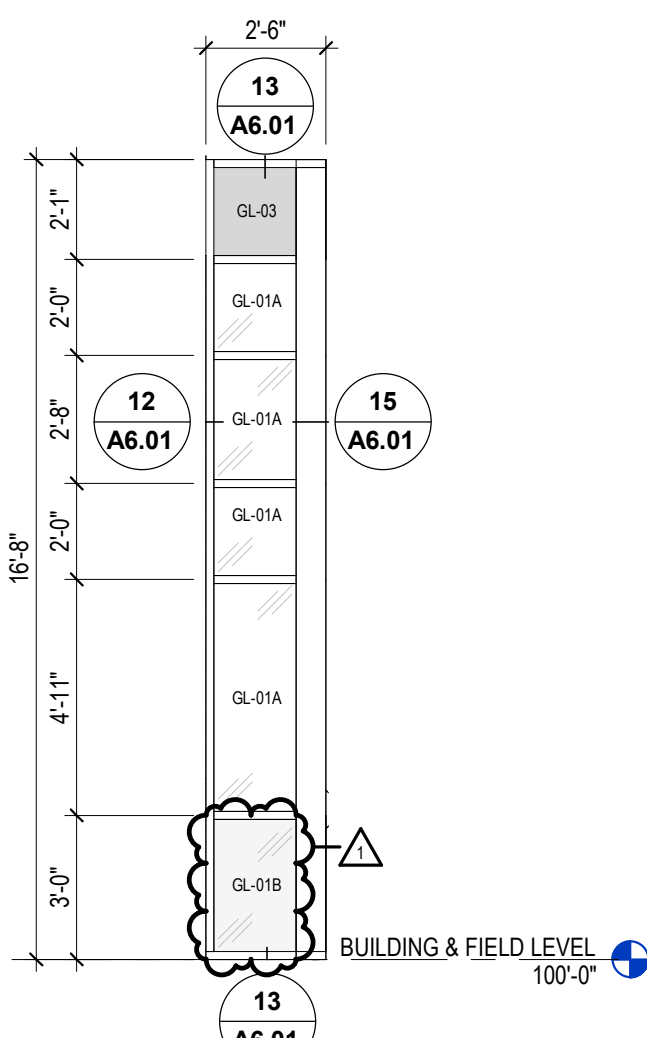
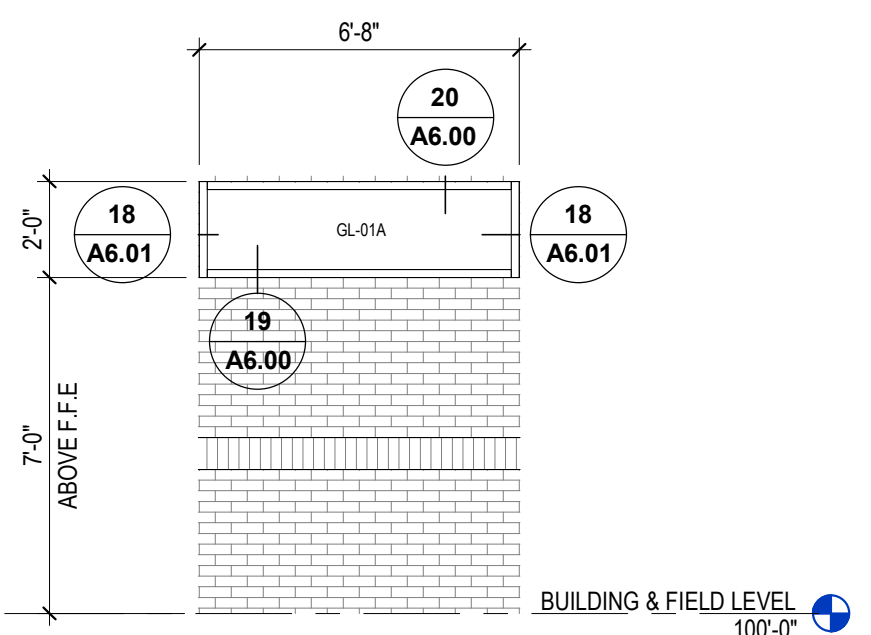
14
A6.01
1 1/2" = 1'-0"



13
A6.01
1 1/2" = 1'-0"

12
A6.01
1 1/2" = 1'-0"

11
A6.01
1 1/2" = 1'-0"

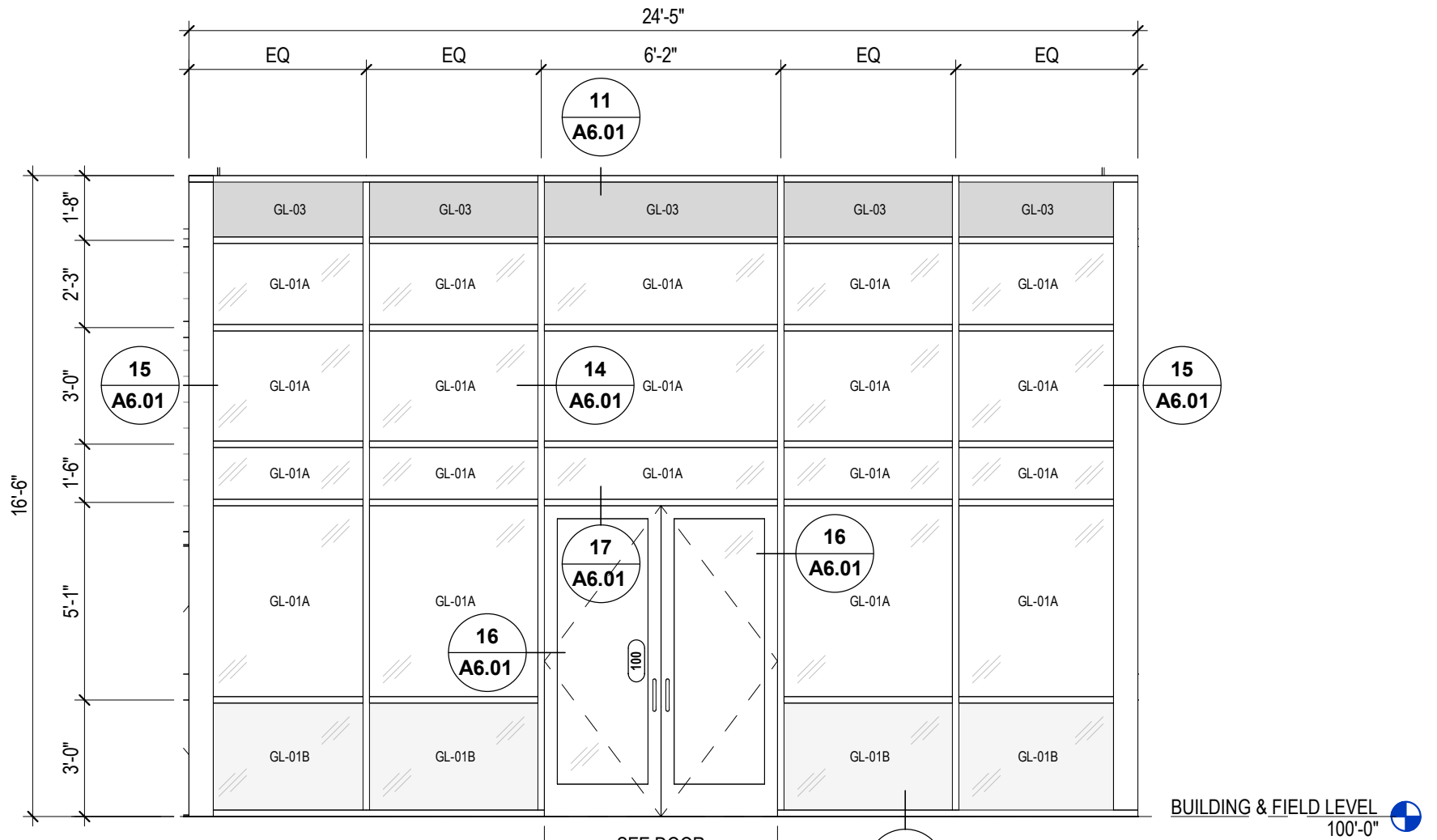
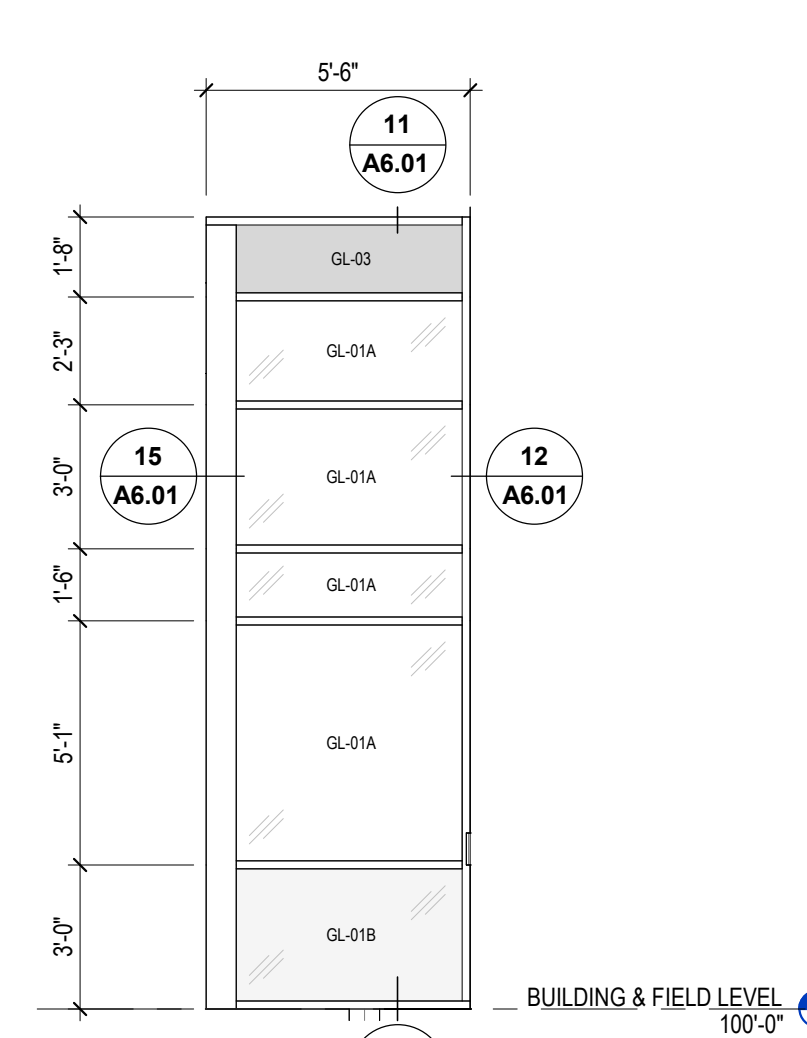
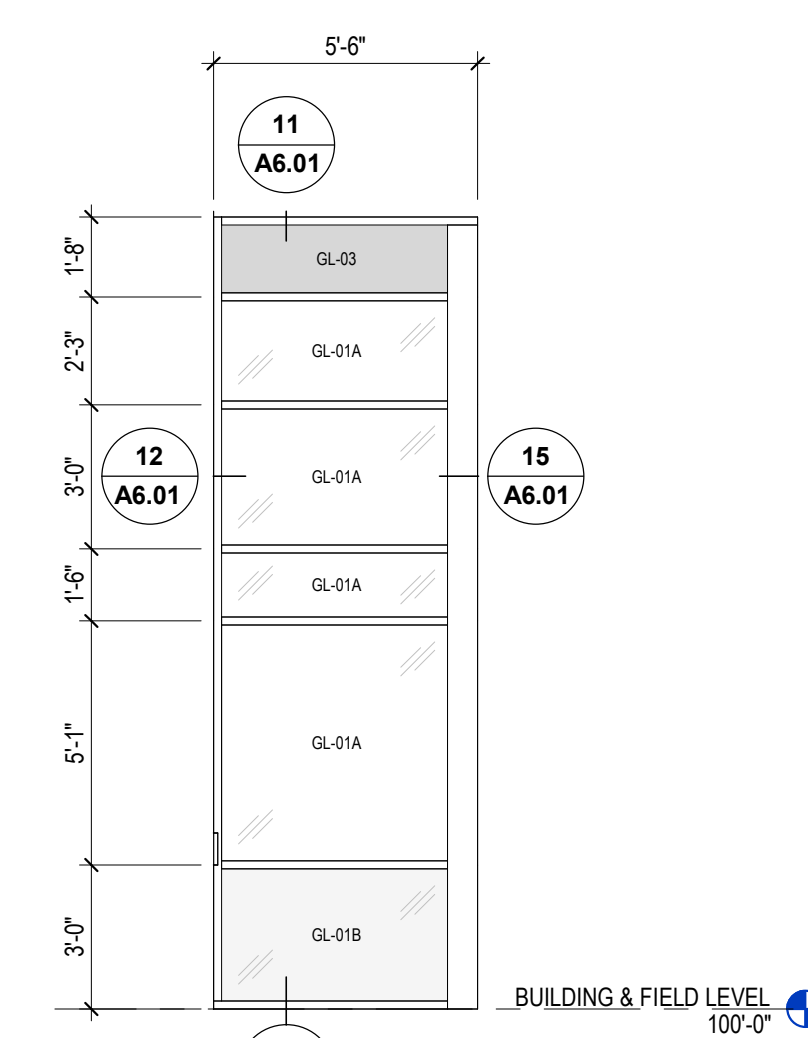
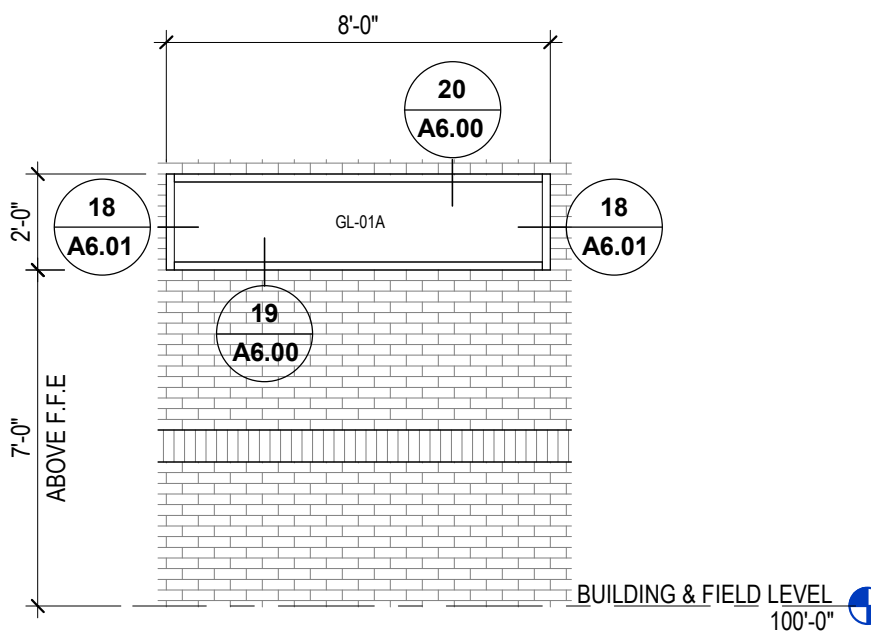


10
A6.01
1/4" = 1'-0"

9
A6.01
1/4" = 1'-0"

8
A6.01
1/4" = 1'-0"

7
A6.01
1/4" = 1'-0"



6A
A6.01
1/4" = 1'-0"

5
A6.01
1/4" = 1'-0"

4
A6.01
1/4" = 1'-0"

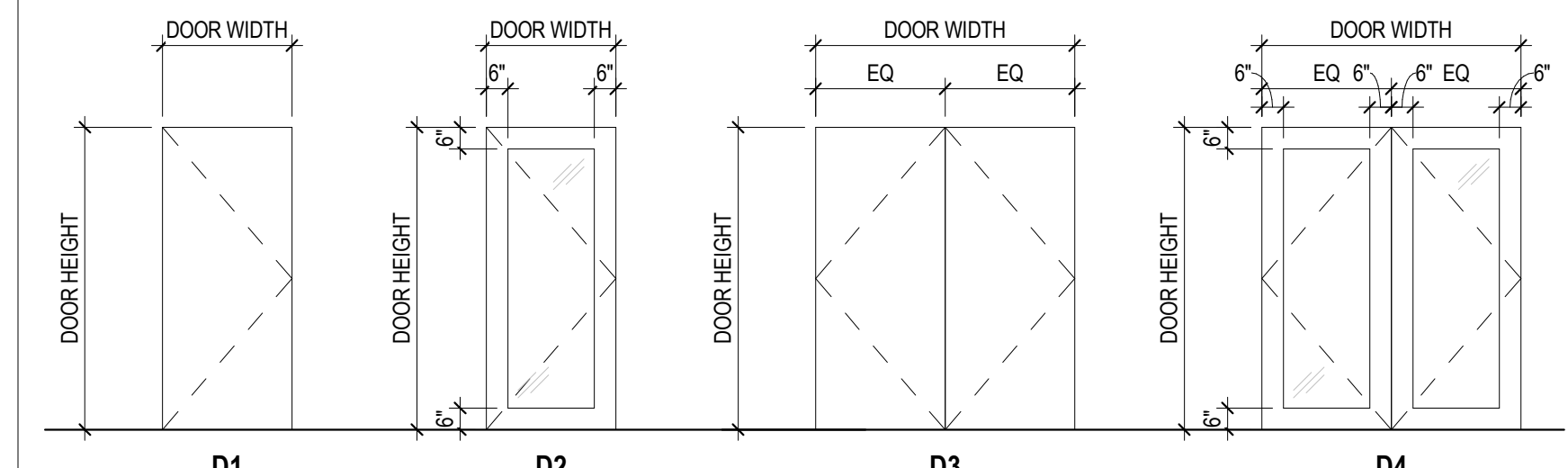
3
A6.01
1/4" = 1'-0"

DOOR SCHEDULE - BASEBALL BUILDING														
#	ROOM	WIDTH	HEIGHT	DOOR				FRAME			DOOR HARDWARE	ACCESS CONTROL	COMMENTS	
				LEAF TYPE	LEAF MATERIAL	GLAZING TYPE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH					
100	ALUMNI LOBBY	6'-0"	8'-0"	D4	ALUM	ANOD	GL-03	F1	ALUM	ANOD	2/A6.01	SET 01	Yes	
101A	VEST.	6'-4"	7'-0"	D3	ALUM	ANOD	GL-05	F2	ALUM	ANOD	1/A6.01	SET 03	Yes	
101B	PLAYERS LOCKER ROOM	6'-0"	7'-0"	D3	ALUM	ANOD	GL-05	F2	ALUM	ANOD	1/A6.01	SET 04	No	HOLD OPEN
101C	JAN.	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 05	No	
102	INDIV. RR	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 02	No	3/4" UNDERCUT
103A	COACHES WORKSPACE	3'-0"	7'-0"	D2	ALUM	ANOD	GL-04	F2	ALUM	ANOD	1/A6.01	SET 02	Yes	
103B	COACHES WORKSPACE	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 02	No	
103C	INDIV. RR	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 06	No	3/4" UNDERCUT
103D	INDIV. RR	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 06	No	3/4" UNDERCUT
104	FLEX ROOM	3'-0"	7'-0"	D2	ALUM	ANOD	GL-04	F2	ALUM	ANOD	1/A6.01	SET 03	No	3/4" UNDERCUT
105	IT ROOM	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 05	No	
106A	PLAYERS LOUNGE	3'-0"	7'-0"	D2	ALUM	PT	GL-04	F2	ALUM	PT	1/A6.01	SET 02	No	
107	SATELLITE P.T. ROOM	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 02	No	
108	CORRIDOR	6'-0"	7'-0"	D4	ALUM	PT	GL-03	F2	ALUM	PT	2/A6.01	SET 01	Yes	PIN PAD
109A	EQUIP. & STORAGE	6'-0"	7'-0"	D3	HM	PT	F2	F2	HM	PT	1/A6.01	SET 05	No	
109B	EQUIP. & STORAGE	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	2/A6.01	SET 05	No	
110	MECH/ELEC	4'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	2/A6.01	SET 05	No	PANIC BAR
112	UMPIRE LOCKERS	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	2/A6.01	SET 02	No	
122A	INDIV. RR	3'-0"	7'-0"	D1	HM	PT	F2	F2	HM	PT	1/A6.01	SET 06	No	3/4" UNDERCUT
112A	EQUIP. & STORAGE	3'-0"	7'-8 1/2"	ALUM					ALUM				No	
122	EQUIP. & STORAGE	3'-0"	7'-0"	D3	HM	PT	F2	F2	HM	PT	1/A6.01	SET 05	Yes	REMOVABLE MULLION

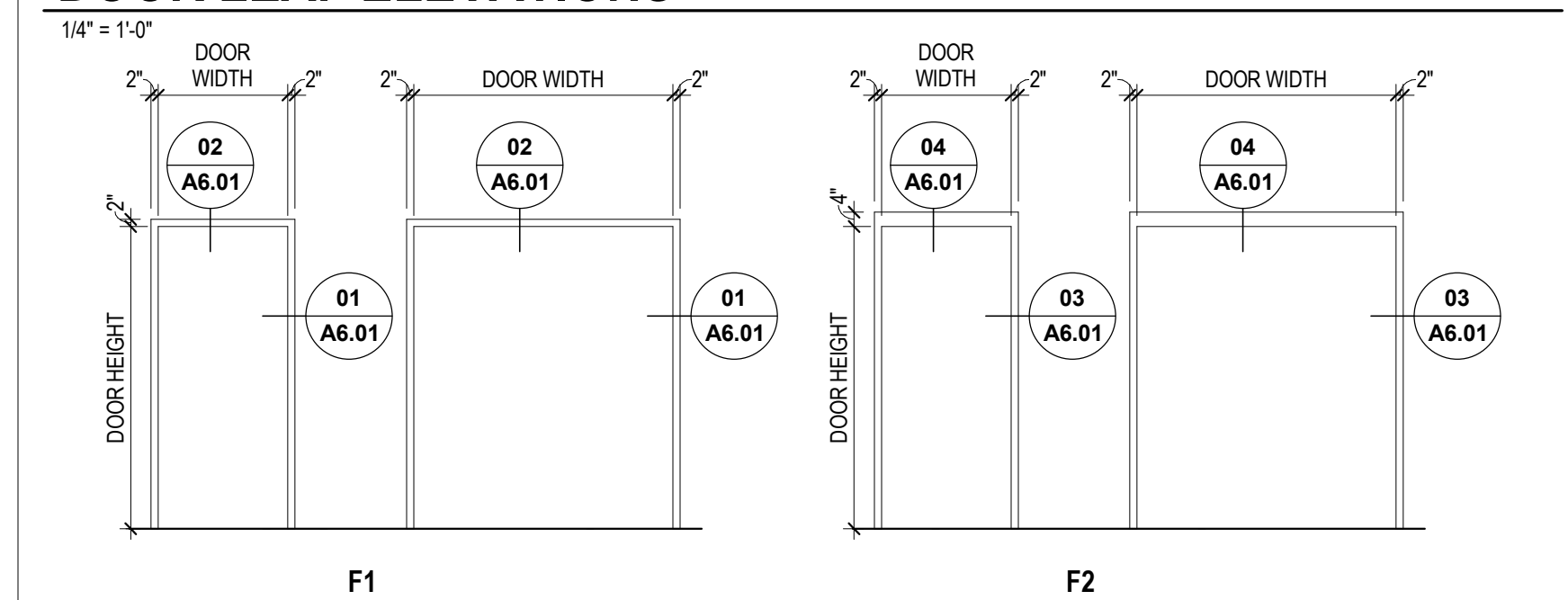
DOOR SCHEDULE - SOFTBALL BUILDING														
#	ROOM	WIDTH	HEIGHT	DOOR			GLAZING TYPE	FRAME DETAILS			DOOR HARDWARE #	ACCESS CONTROL	COMMENTS	
				LEAF TYPE	LEAF MATERIAL	LEAF FINISH		FRAME TYPE	FRAME MATERIAL	FRAME FINISH				
200	ALUMNI LOBBY	6'-0"	7'-10"	D4	ALUM	ANOD	GL-03	F1	ALUM	ANOD	2/A6.01	SET 01	Yes	
201A	VEST	6'-4"	7'-0"	D4	ALUM	ANOD	GL-04	F2	ALUM	ANOD	1/A6.01	SET 03	Yes	
201B	PLAYERS LOCKER ROOM	3'-0"	7'-0"	D1	HM	PT		F1	HM	PT	1/A6.01	SET 04		HOLD OPEN
201C	PLAYERS RR & SHOWERS	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 05		
201D	STOR.	3'-0"	7'-0"	D1	HM	PT		F1	HM	PT	1/A6.01	SET 05		
202	INDIV. RR	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 06		3/4" UNDERCUT
203	COACHES LOCKERS	3'-0"	7'-0"	D1	ALUM	PT		F2	ALUM	ANOD	1/A6.01	SET 02	Yes	
203A	INDIV. RR	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 06		3/4" UNDERCUT
203B	INDIV. CHANGING	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 06		3/4" UNDERCUT
204	FLEX ROOM	3'-0"	7'-0"	D2	ALUM	PT	GL-04	F2	ALUM	ANOD	1/A6.01	SET 02		
205A	CORRIDOR	3'-0"	7'-0"	D2	ALUM	PT	GL-05	F2	ALUM	ANOD	1/A6.01	SET 02		
205B	PLAYERS LOUNGE	3'-0"	7'-0"	D1	HM	PT		F2	HM	ANOD	1/A6.01	SET 04		HOLD OPEN
206	SATELLITE P.T.	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 02	No	
207	CORRIDOR	6'-4"	7'-0"	D4	ALUM	ANOD	GL-03	F2	ALUM	ANOD	2/A6.01	SET 01	Yes	PIN PAD
208	IT ROOM	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 05		
209	EQUIP. & STORAGE	3'-0"	7'-0"	D1	HM	PT		F2	HM	PT	1/A6.01	SET 05	Yes	
210	MECH / ELEC	4'-0"	7'-0"	D3	HM	PT		F2	HM	PT	2/A6.01	SET 05		PANIC BAR
212	EQUIP. & STORAGE	6'-0"	7'-0"	D3	HM	PT		F2	HM	PT	2/A6.01	SET 05	Yes	REMOVABLE MULLION

GLAZING TYPE	DESCRIPTION	COMMENTS
GL-01A	EXTERIOR INSULATED GLAZING, LOW-E	1" THICK (2 PANES 1/4" TEMPERED GLASS & 1/2" AIR SPACE)
GL-01B	EXTERIOR INSULATED GLAZING, LOW-E W/ FROSTED FINISH	1" THICK (2 PANES 1/4" TEMPERED GLASS & 1/2" AIR SPACE) W/ FROSTED FINISH
GL-02	SPANDREL GLASS	1/4" THICK TEMPERED GLASS
GL-03	EXTERIOR INSULATED LAMINATED GLAZING, LOW-E	1" THICK (1 PANE 1/4" LAMINATED GLASS, 1 PANE 1/4" TEMPERED GLASS & 1/2" AIR SPACE)
GL-04	INTERIOR TEMPERED GLASS	1/4" THICK TEMPERED GLASS
GL-05	INTERIOR TEMPERED GLASS W/ FROSTED FINISH	1/4" THICK TEMPERED GLASS W/ FROSTED FINISH

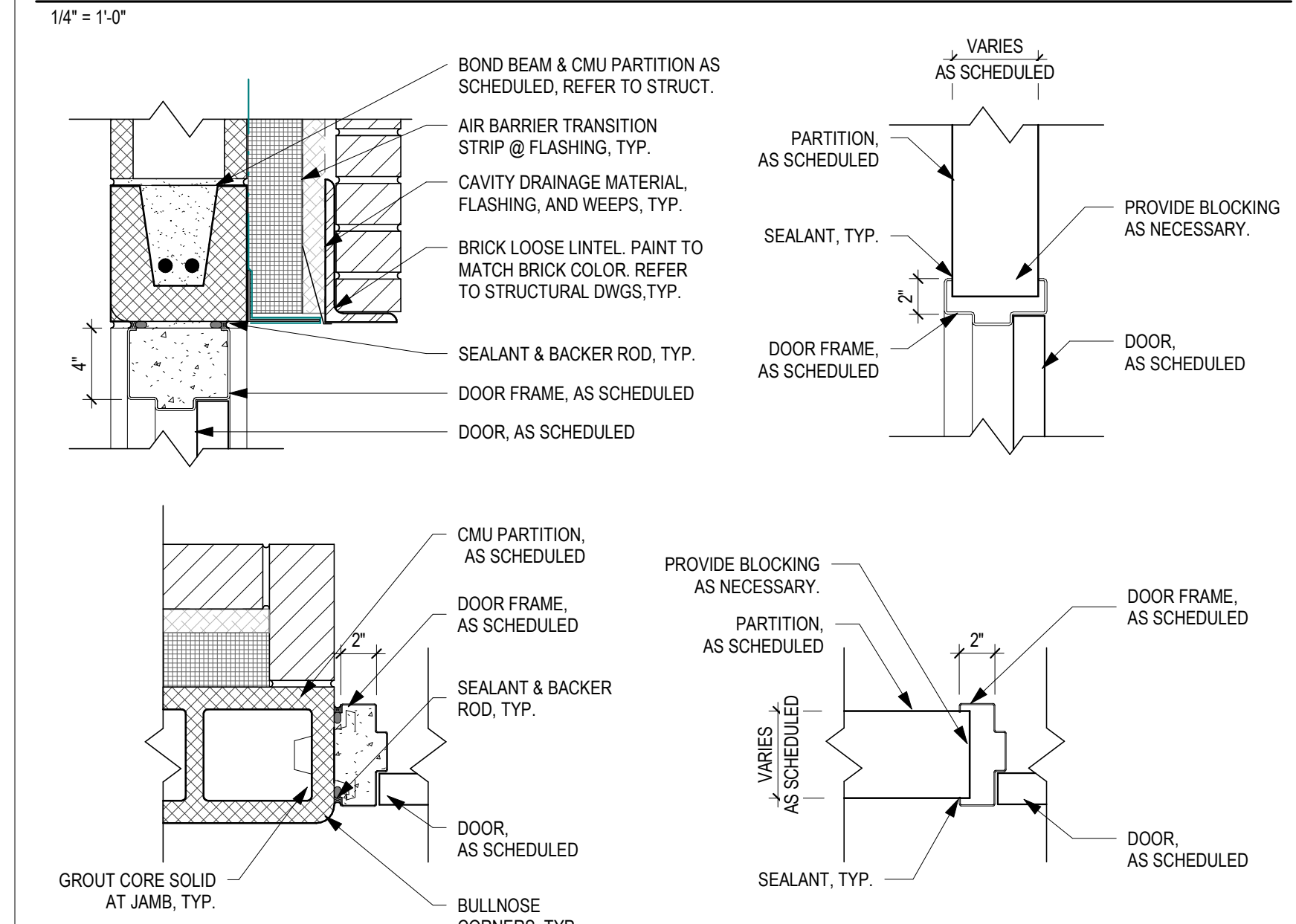
DOOR HARDWARE SETS: SET 01 - ENTRY STYLE W/ ACCESS CONTROL SET 02 - OFFICE STYLE W/ ACCESS CONTROL SET 03 - CLASSROOM STYLE W/ ACCESS CONTROL SET 04 - PASSAGE STYLE W/ HOLD OPEN SET 05 - STOREROOM STYLE W/ CLOSER SET 06 - PRIVACY STYLE LOCKSET W/ INDICATOR & CLOSER	ADDITIONAL ABBREVIATIONS: ALUM - ALUMINUM ANOD - ANODIZED GHM - GALVANIZED HOLLOW METAL HM - HOLLOW METAL HPC - HIGH PERFORMANCE COATING SCW - SOLID CORE WOOD HCW - HOLLOW CORE WOOD WD - WOOD PT - PAINT ST - STAIN SS - STAINLESS STEEL
--	--



DOOR LEAF ELEVATIONS



DOOR FRAME ELEVATIONS



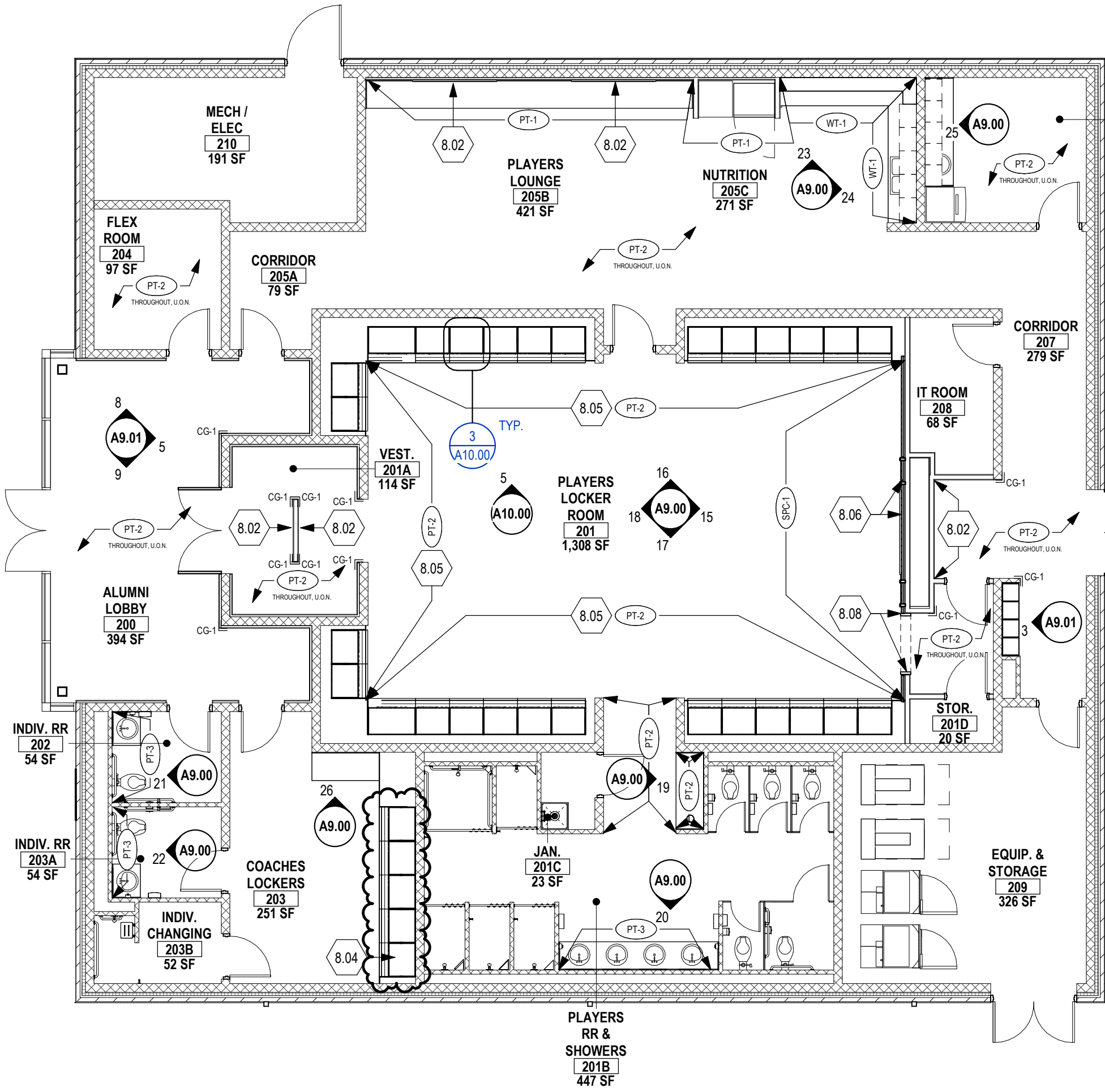
2
A6.01
1 1/2" = 1'-0"

1
A6.01
1 1/2" = 1'-0"

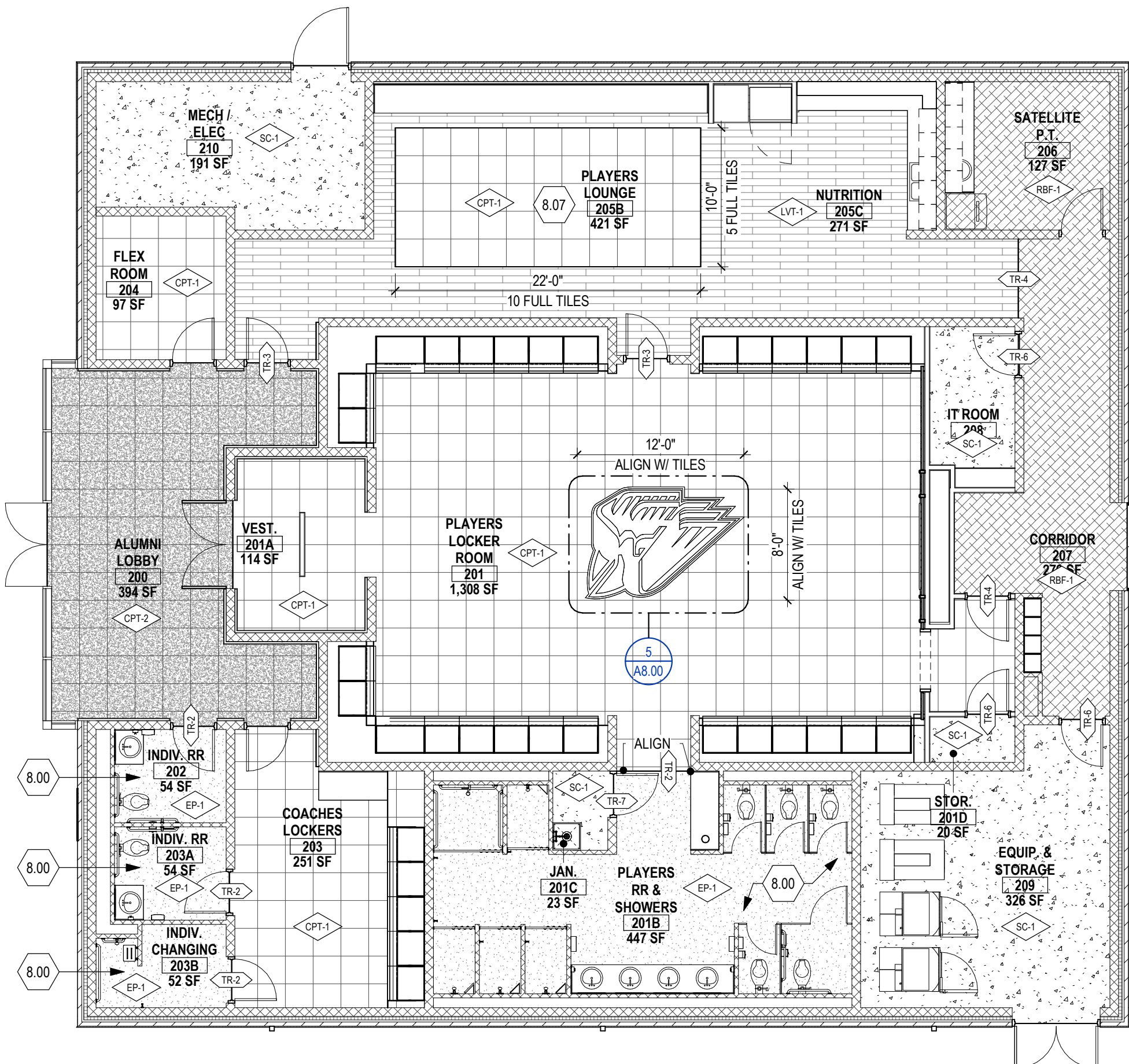
NO.	DATE	ISSUED / REVISION
B	06/27/2025	DO SET
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

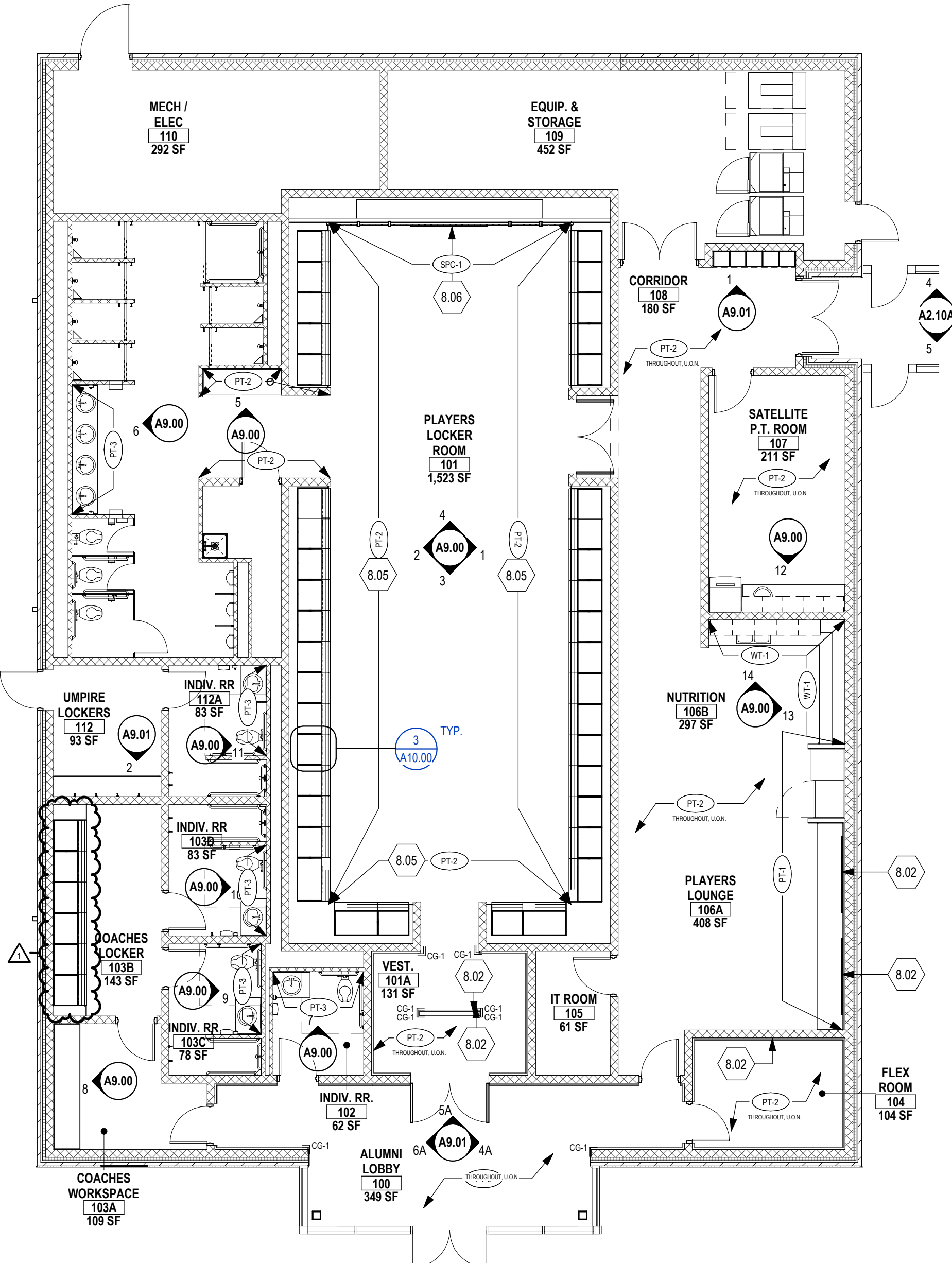
DRAWING TITLE:
DOOR SCHEDULE &
STOREFRONT
ELEVATIONS



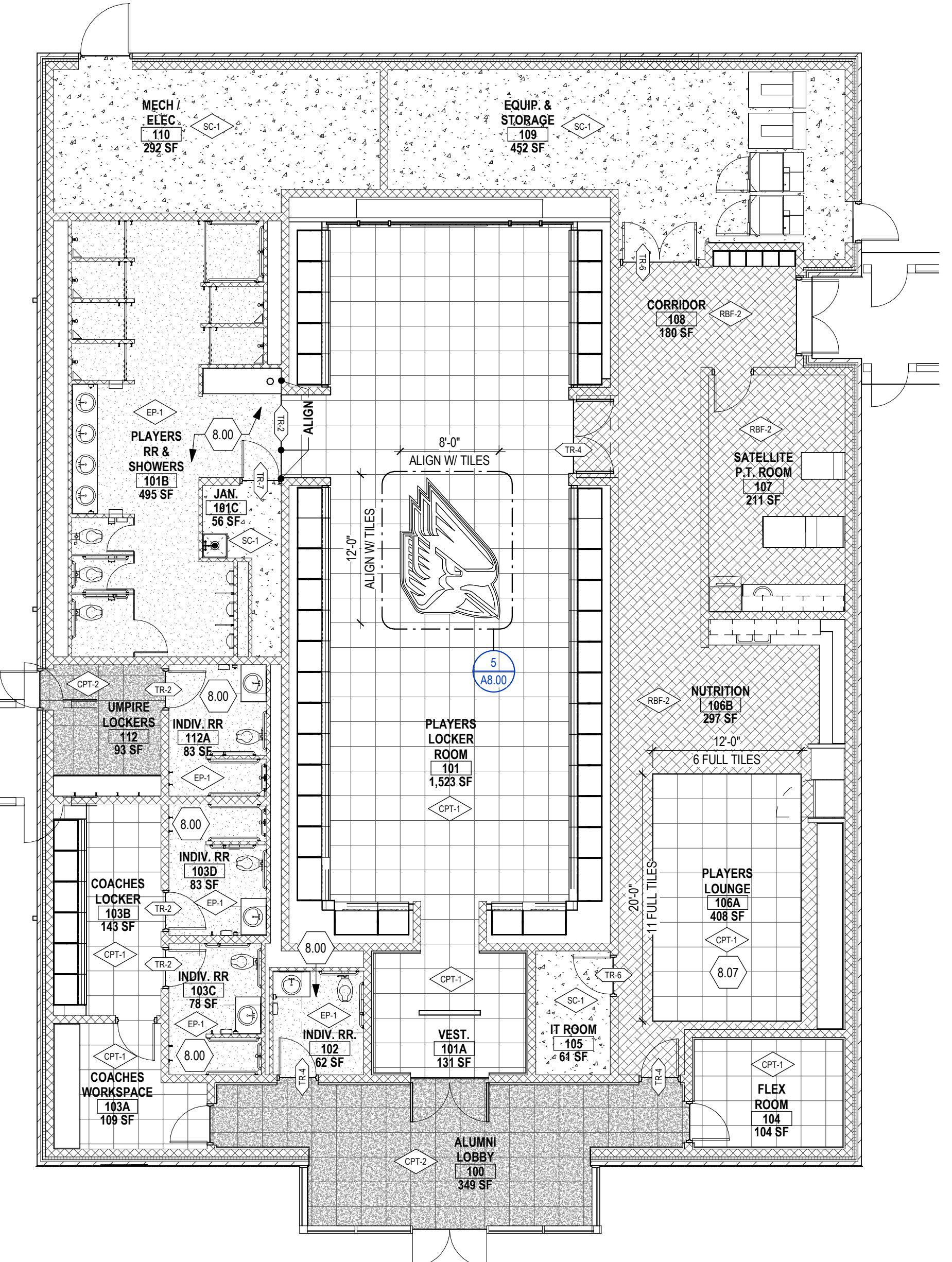
SOFTBALL - FIRST FLOOR FLOOR WALL FINISH PLAN
1/8" = 1'-0"



SOFTBALL - FIRST FLOOR FLOOR FINISH PLAN
1/8" = 1'-0"



BASEBALL - FIRST FLOOR WALL FINISH PLAN
1/8" = 1'-0"



BASEBALL - FIRST FLOOR FLOOR FINISH PLAN
1/8" = 1'-0"

NOTE:

CUT LOGO WITHIN CPT-1 CARPET TILE.
PROVIDE BY ADJUT THROUGH
FOR LOCATION AND SIZE. FINAL SIZE
TO BE APPROVED BY OWNER. LOGO
ART FILE TO BE PROVIDED BY OWNER.

- BLACK: INTERFACIAL FLOOR MADE YOU LOOK 21-1361-36 BLACK
- WHITE: INTERFACIAL FLOOR MADE YOU LOOK 21-1361-58 BRIGHT WHITE
- RED: INTERFACIAL FLOOR MADE YOU LOOK 21-1361-04 PERSIMMON



FLOOR LOGO
1/2" = 1'-0"

FINISH PLAN LEGEND

- CPT-1 CARPET TILE
- CPT-2 CARPET TILE
- RBF-X RUBBER FLOOR
- LVT-1 VINYL TILE PLANK
- EP-1 EPOXY FLOOR
- SC-1 SEALED CONCRETE
- WALL: INDICATES WALL FINISH OTHER THAN TYPICAL. SEE FINISH PLAN GENERAL NOTE "X" FOR TYPICAL WALL FINISH.
- FLOOR: FLOORING FINISH TAG. SEE FULL LEGEND PATTERNS ABOVE FOR INDICATION OF EXTENT OF FINISH.
- BASE: INDICATES WALL BASE FINISH OTHER THAN TYPICAL. SEE FINISH PLAN GENERAL NOTE "B" FOR TYPICAL WALL FINISH.
- TS: INDICATES FLOORING TRANSITION
- CG: INDICATES CORNER GUARD

GENERAL FINISH NOTES

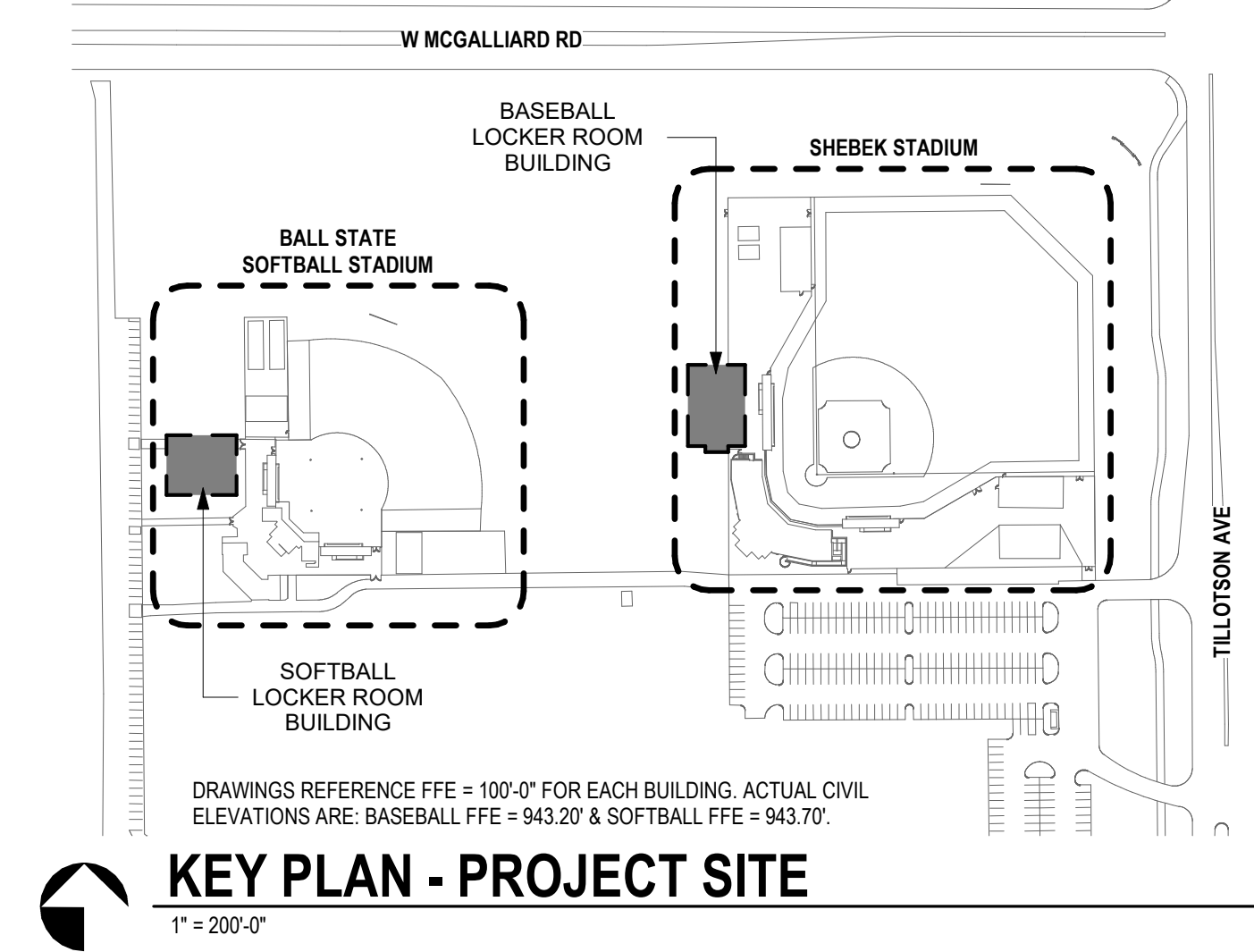
- A. ALL WALLS ARE TO BE PAINTED PT-1, U.O.N.
- B. ALL WALLS ARE TO RECEIVE RBF-1 WALL BASE, U.O.N.
- C. SEE REFLECTED CEILING PLAN, FINISH LEGEND, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- D. ALL FLOORING TRANSITIONS TO OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION, DOORWAY, OR OPENING U.O.N.
- E. PAINT ALL ELECTRICAL PANELS OR ACCESS PANELS TO MATCH ADJACENT PARTITION IN SEMI-GLOSS.
- F. U.O.N. ALL FURNITURE AND EQUIPMENT IS SHOWN FOR INFORMATION AND COORDINATION ONLY AND IS NOT PART OF THE CONTRACT FOR CONSTRUCTION. CONTRACTOR TO INSTALL, OWNER SUPPLIED EQUIPMENT.
- G. HOLLOW METAL DOORS AND FRAMES ARE TO BE PAINTED PT-2 IN SEMI-GLOSS FINISH, U.O.N.
- H. FLOOR FINISHES TO EXTEND BELOW BUILT IN MILLWORK, U.O.N.
- I. INSTALL ALL FINISHES AND SYSTEMS PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- J. BULKHEADS ARE TO BE PAINTED TO MATCH ADJACENT PARTITION, U.O.N.
- K. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES, SYSTEMS, AND PAINT COLORS OF CEILING ELEMENTS.
- L. WHERE WALL FINISH IS INDICATED ON FINISH PLAN AND NO ELEVATION IS PROVIDED, WALL FINISH SHALL EXTEND FROM TOP OF WALL BASE TO UNDERSIDE OF CEILING/STRUCTURE, U.O.N.
- M. CONTRACTOR TO COORDINATE FINAL FLOOR FINISH TRANSITIONS WITH FIELD CONDITIONS AND FINAL FLOORING PRODUCTS SUBMITTED. FLOOR TRANSITIONS SHALL NOT EXCEED 1/8" DIFFERENCE IN HEIGHT VERTICALLY OR 1/8" IF BEVELED WITH MAXIMUM SLOPE OF 1:2.
- N. PROVIDE FRP-1 ON WALL BEHIND MOP SINKS AND ADJACENT TO MOP SINKS UP TO 4'-0" U.O.N.
- O. ALL SWITCHES AND OUTLET DEVICES AND COVERS ARE TO MATCH FINISH COLOR OF ADJACENT PARTITION, U.O.N.
- P. WHEN FINISH SUBSTITUTIONS ARE ALLOWED, CONTRACTOR SHALL SUBMIT ALL FINISH MATERIAL SUBSTITUTIONS / SUBMITTALS CONCURRENTLY TO ENSURE THE ABILITY TO EVALUATE AND MAINTAIN CONSISTENCY OF DESIGN INTENT.
- Q. WHERE OCCURS, PAINTED SURFACES WITHIN SHOWER AREA TO RECEIVE EPOXY PAINT, U.O.N.
- R. PROVIDE PAINT STENCIL WITH "BEARING WALL" LABEL AT 12'-0" O.C. AT AREAS ABOVE CEILING ON ALL CMU BEARING WALLS. COORDINATE WITH ARCHITECT.

KEYNOTES - INTERIORS

- 8.00 INTEGRAL EPOXY BASE THROUGHOUT. REFER TO INTERIOR DETAILS.
- 8.04 2" X 30" W X 30" D THEMATIC LOCKERS WITH INTEGRATED BENCH SEAT AT BASE. SIMILAR TO ATHLETIC LOCKERS. MINIMUM 1/2" THICK. COORDINATE WITH LOCKER MANUFACTURER.
- 8.06 SPC-1 WOOD LOOK SLATS AND LINEAR LIGHTING TO WRAP DOWN MEDIA WALL FROM CEILING. REFER TO RCP, INTERIOR ELEVATIONS, AND INTERIOR DETAILS.
- 8.07 CPT-1 PROVIDED AS AREA RUG IN THIS LOCATION. TO BE INSTALLED OVERTOP OF LOUNGE FLOORING. PROVIDE COMMON BACKER AND INSTALL WITH INTERFACE TACTILES ADHESIVE DOTS TO BACK OF TILES TO CREATE AREA RUG.
- 8.08 TWO INCH WOOD TRIM TO CAP SPC-1 WOOD LOOK SLATS. PAINTED PT-2. REFER TO INTERIOR ELEVATIONS. INSTALL TRIM 1/2" PROUD OF SPC-1 AND PLAN SOUTH PARTITION.

FINISH LEGEND

FINISH CODE	FINISH DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	COLOR / FINISH	SIZE	COMMENTS
FLOOR FINISH						
CPT-1	CARPET TILE - TYPICAL	INTERFACE	UPWARD BOUND	107185 CARBON	50CM X 50CM	MONOLITHIC INSTALL. STANDARD BACKING.
CPT-2	WALK OFF CARPET	INTERFACE	SR899 STEP REPEAT	104941 GRAY	50CM X 50CM	
RBF-1	RUBBER FLOOR	TARKETT	REPLAY	RAZ INFRARED	24" X 24" X 3/8" THICK TILE	
RBF-2	RUBBER FLOOR	TARKETT	TRIUMPH		24" X 24" X 3/8" THICK	CUSTOM COLOR TBD. TEXTURE: HAMMERED. TRIUMPH 10% LARGE & MEDIUM. PATTERN: SPECKLED. FIELD COLOR: 20. CHIP COLOR: 21. CHIP COLOR: 40. CHIP COLOR: T86.
LVT-1	LUXURY VINYL TILE	INTERFACE	ON GRAIN, EARTHEN FORMS	A03301 WHITE OAK VENEER	25cm X 1m TILE	ASHLAR INSTALLATION PATTERN
EP-1	EPOXY	SHERWIN WILLIAMS	DECO FLAKE	CUSTOM BLEND	1/4" FLAKE	QUOTE NUMBER: SW4399-FB11. BLACK BEAN W/ F9978. F9902 BLACK IRON OXIDE 60%. F5114 EBONY 20%. F9979 TOMATO 10%. F2363 RHINO GRAY 10%. INTEGRAL BASE AT ALL LOCATIONS. REFER TO DETAIL 13A10.01.
SC-1	SEALED CONCRETE					GROUND SMOOTH AND SEALED CONCRETE. FILL ALL JOINTS WITH POLYUREA JOINT FILLER.
WALL BASE						
RB-1	RUBBER BASE - TYPICAL	TARKETT	DURACOVE	BLACK 40	4" HIGH	PROVIDE ROLLED RUBBER GOODS.
WALL FINISH						
PT-1	TYPICAL PAINT	SHERWIN WILLIAMS	HARMONY LOW VOC PAINT	IBIS WHITE SW 7000		FINISH: FLAT @ GYP. BD. CEILINGS. SEMI-GLOSS @ PAINTED WOOD, METAL TRIM, OR BLOCK WALLS. EGGSHELL @ GYP. BD. WALLS.
PT-2	ACCENT PAINT	SHERWIN WILLIAMS	HARMONY LOW VOC PAINT	TRICORN BLACK SW6258		
PT-3	ACCENT PAINT	SHERWIN WILLIAMS	HARMONY LOW VOC PAINT	HEARTTHROB SW6866		
WT-1	WALL TILE	DALTILE	TRINITY TILE	HYDE PARK RUBER	4" X 12"	SANDED GROUT, 1/8" GROUT JOINT. REFER TO ARCHITECT FOR SELECTION AND APPROVE OF COLOR.
FRP-1	FIBERGLASS REINFORCED PANELS	CRANE COMPOSITE	GLASBORD	WHITE	48X PANELS	
CEILING FINISH						
EXP-1	EXPOSED CEILING			PAINTED PT-2, U.O.N.		DRY-FALL FLAT FINISH AT CEILING. EGGSHELL FINISH AT VERTICAL MEMBERS. PAINT ALL EXPOSED STRUCTURAL MEMBERS, UNDERSIDE OF DECK, PIPES, SPRINKLER LINES, CONDUIT, DUCTWORK, AND SUPPORTS.
GYP-1	GYPSUM BOARD CEILING			PAINTED PT-1		FINISH: FLAT @ GYP. BD. CEILINGS
GYP-2	GYPSUM BOARD CEILING			PAINTED PT-2		FINISH: FLAT @ GYP. BD. CEILINGS
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	CALLA - SQUARE TEGULAR	BLACK	24" X 24"	1516 PRELUDE GRID, BLACK
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	ULTIMA SHAPES	WHITE	24" X 48" RIGHT AND LEFT TRIANGLES	916 SUPRAFINE GRID, WHITE
ACT-3	ACOUSTICAL CEILING TILE	ARMSTRONG	CALLA - SQUARE TEGULAR	WHITE	24" X 24"	1516 PRELUDE GRID, WHITE
SPC-1	SPECIALTY CEILING	RULON	ENDURE LINEAR 810	CUSTOM FILM, MIDNIGHT BLACK	7.25" W, 3/4" REVEAL	STANDARD GRID WITH BLACK CARRIERS. OPEN REVEALS WITH SPACERS REMOVED FOR ACOUSTIC BACKER. PROVIDE OWENS CORNING SELECT SOUND BLACK ACOUSTIC BACKER ABOVE CEILING. REFER TO RCP FOR LENGTHS AND LIGHTING INSTALL. CONTACT: BART BASH bash@rulon.com, 513-304-4817
SURFACE MATERIALS						
PL-1	PLASTIC LAMINATE (BLACK WOOD)	SURFACE MATERIALS	LAMITECH PAINTED WOOD PW 2110 CINDER	PAINTED WOOD FINISH		
PL-2	PLASTIC LAMINATE (MAPLE WOOD)	WILSONART	7911-60 MANITOBA MAPLE	MATTE FINISH		
QZ-1	QUARTZ COUNTERTOP	WILSONART	Q2003	AURORA		
SSM-1	SOLID SURFACE	WILSONART	9092MG	BLACK ONYX MIRAGE		
SSM-2	SOLID SURFACE	WILSONART	9077ST (3)	MILK GLASS SPECTRA		
TRIMS AND TRANSITIONS						
CG-1	FULL HEIGHT CORNER GUARD				2 INCH	BLACK ALUMINUM CORNER GUARD, SURFACE MOUNTED WITH CONSTRUCTION ADHESIVE.
TR-1	DRYFALL REVEAL	FRY RELEET	REVEAL MOLDING DRM-50-50	BLACK	1/2" X 1/2"	
TR-2	ADA FLOOR TRANSITION	TARKETT	EG-40-K			TO BE USED BW CARPET AND EPOXY.
TR-3	ADA FLOOR TRANSITION	TARKETT	CD-40			TO BE USED BW CARPET AND LVT.
TR-4	ADA FLOOR TRANSITION	TARKETT	CTA-40-Z			TO BE USED BW CARPET AND RUBBER, OR LVT AND RUBBER.
TR-5	ADA FLOOR TRANSITION	TARKETT	EG-40-K			TO BE USED BW LVT AND SEALED CONCRETE OR CARPET AND SEALED CONCRETE.
TR-6	ADA FLOOR TRANSITION	TARKETT	EG-40-W			TO BE USED BW RUBBER AND SEALED CONCRETE.
TR-7	ADA FLOOR TRANSITION	TARKETT	EG-40-W			TO BE USED BW EPOXY TO SEALED CONCRETE.
TR-8	ADA FLOOR TRANSITION	SCHLUTER	JOLLY	STAINLESS STEEL		TO BE USED AT TOP OF WT-1.



KEY PLAN - PROJECT SITE
1" = 200'-0"

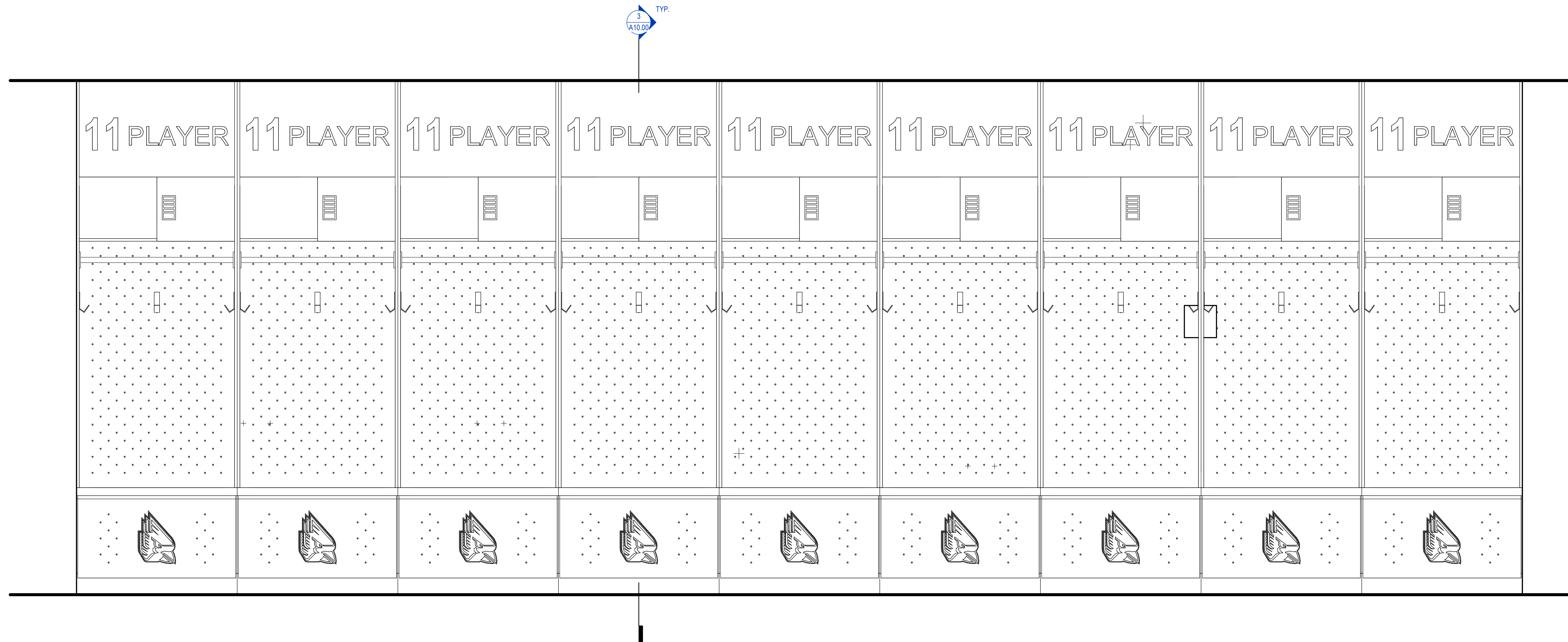
NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	SUPPLEMENT SET
1	12/15/2025	ADDENDUM 2

NO.	DATE	ISSUED / REVISION
A	07/19/2024	SD SET
B	06/27/2025	DO SET
C	11/21/2025	BID/PERMIT SET
1	12/15/2025	ADDENDUM 2

PROJECT NO. 24104.00

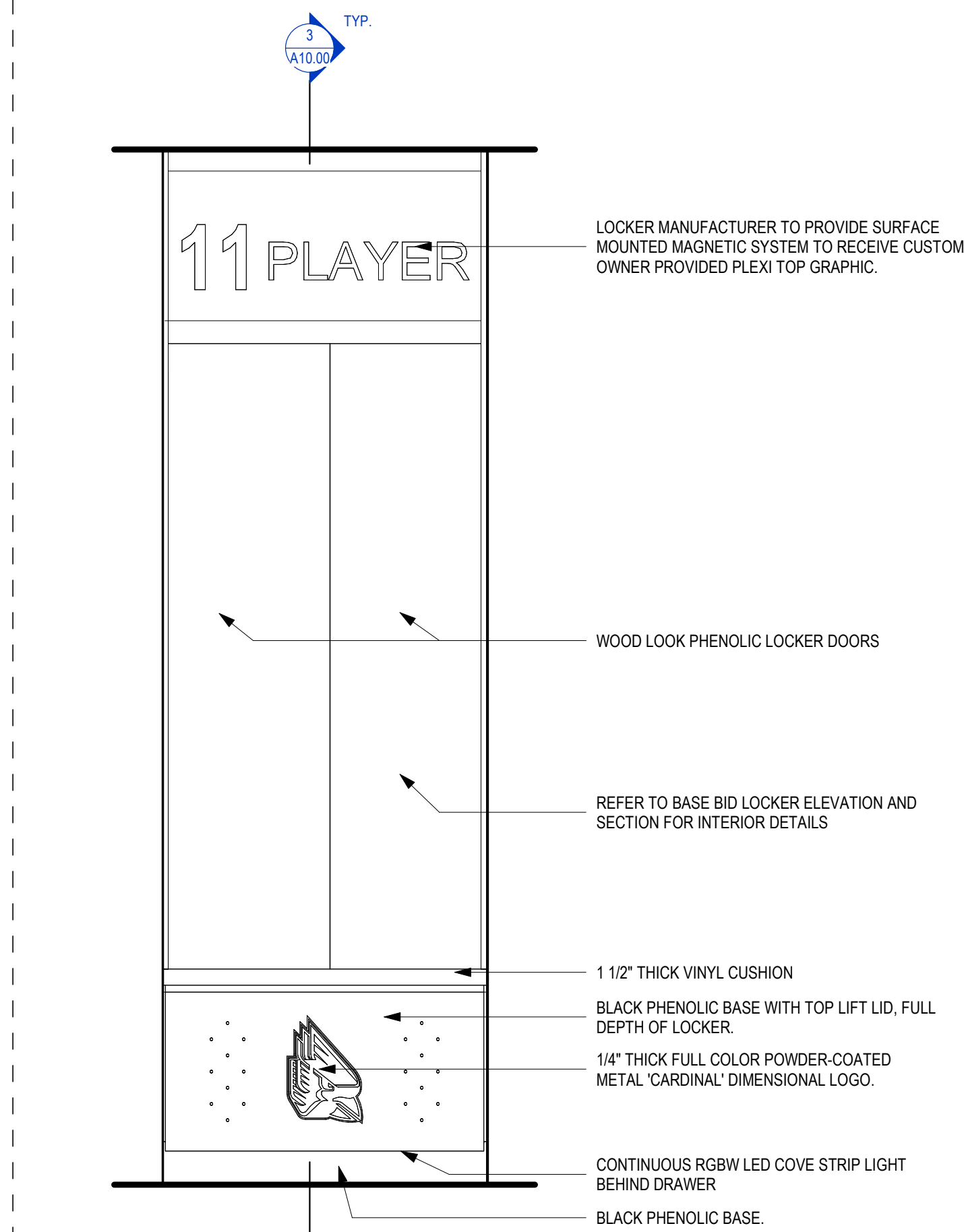
DRAWING TITLE:
LOCKER DETAILS

A10.00

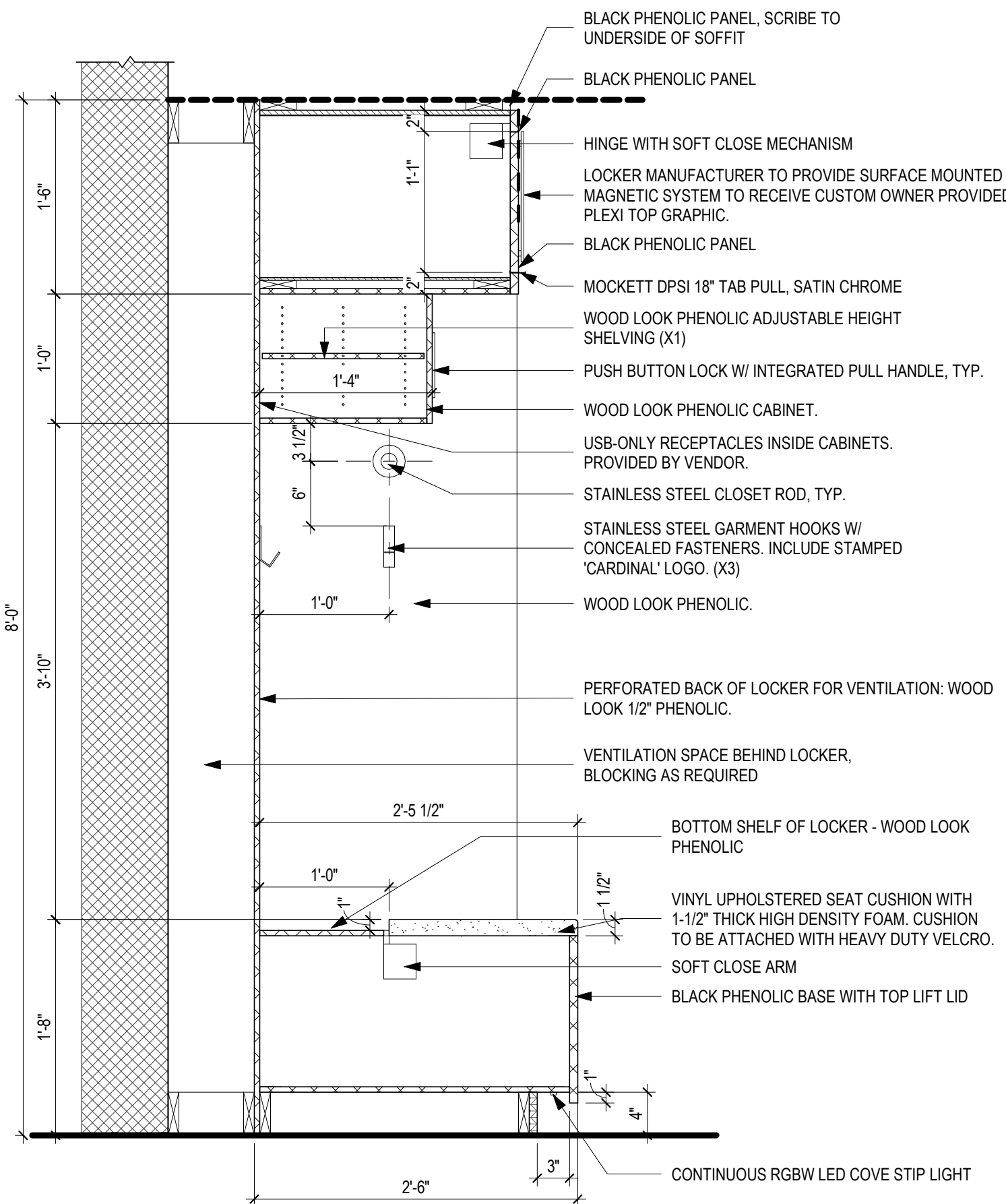


4 LOCKER ELEVATION
A10.00 1" = 1'-0"

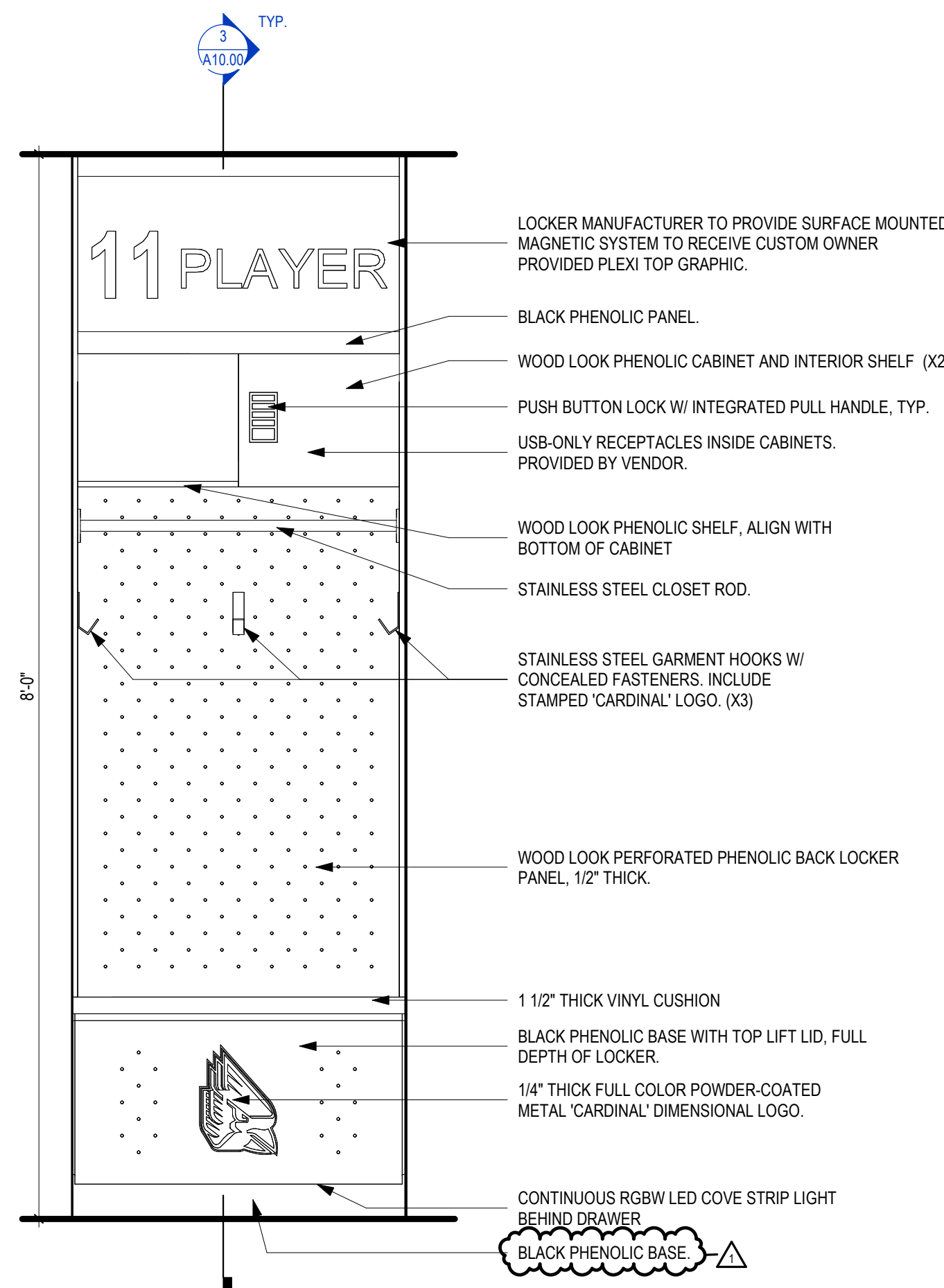
ALTERNATE 3: PLAYER LOCKERS TO INCLUDE DOORS
AND ALL BASE BID ELEMENTS.



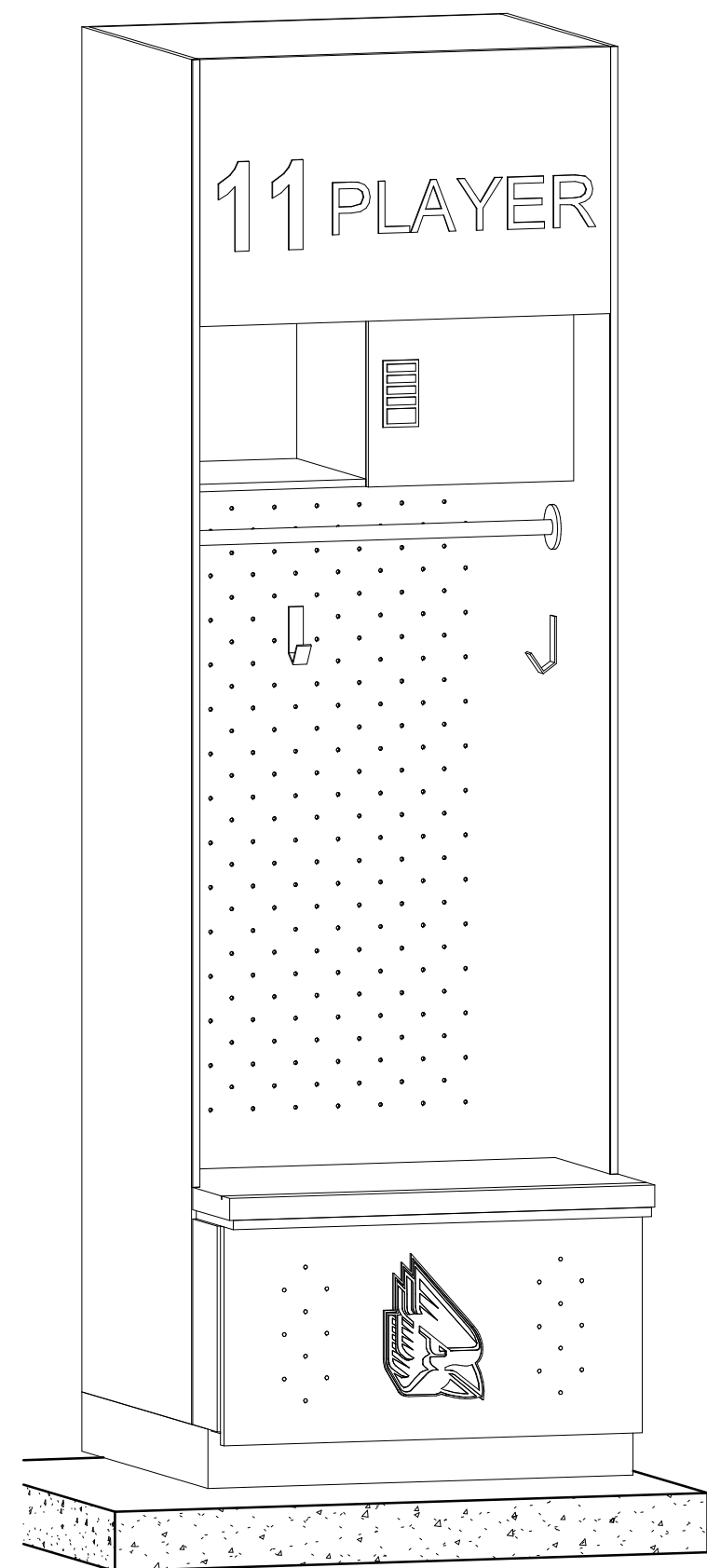
5 ALTERNATE 3: LOCKER DETAIL - FRONT ELEVATION
A10.00 1" = 1'-0"



3 LOCKER DETAIL - SECTION
A10.00 1" = 1'-0"



2 LOCKER DETAIL - FRONT ELEVATION
A10.00 1" = 1'-0"



1 LOCKER AXON
A10.00